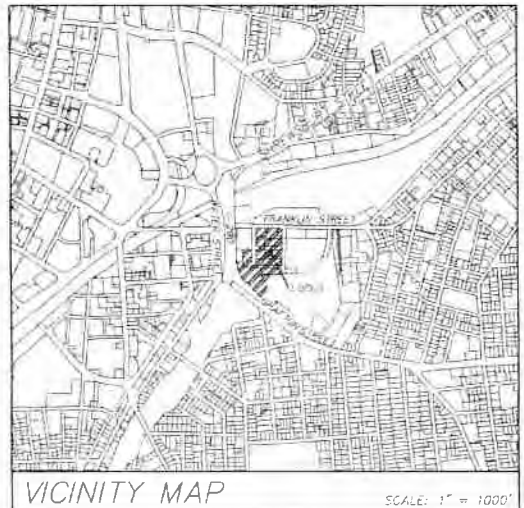


**DEFINITIVE SITE DEVELOPMENT
RESIDENTIAL APARTMENT COMPLEX
FRANKLIN STREET
IN
WORCESTER, MASSACHUSETTS
NOVEMBER 12, 2021
REVISIONS THROUGH DECEMBER 22, 2023**



APPLICANT:
 GOVENTURE CAPITAL GROUP, LLC
 BRENDON GOVE
 10 E. WORCESTER STREET, SUITE 3A
 WORCESTER, MASSACHUSETTS 01605
 TEL: (784) 234-9008

CIVIL ENGINEER & LAND SURVEYOR:
 HANNIGAN ENGINEERING, INC.
 8 MONUMENT SQUARE
 LEOMINSTER, MASSACHUSETTS 01453
 TEL: (978) 534-1234

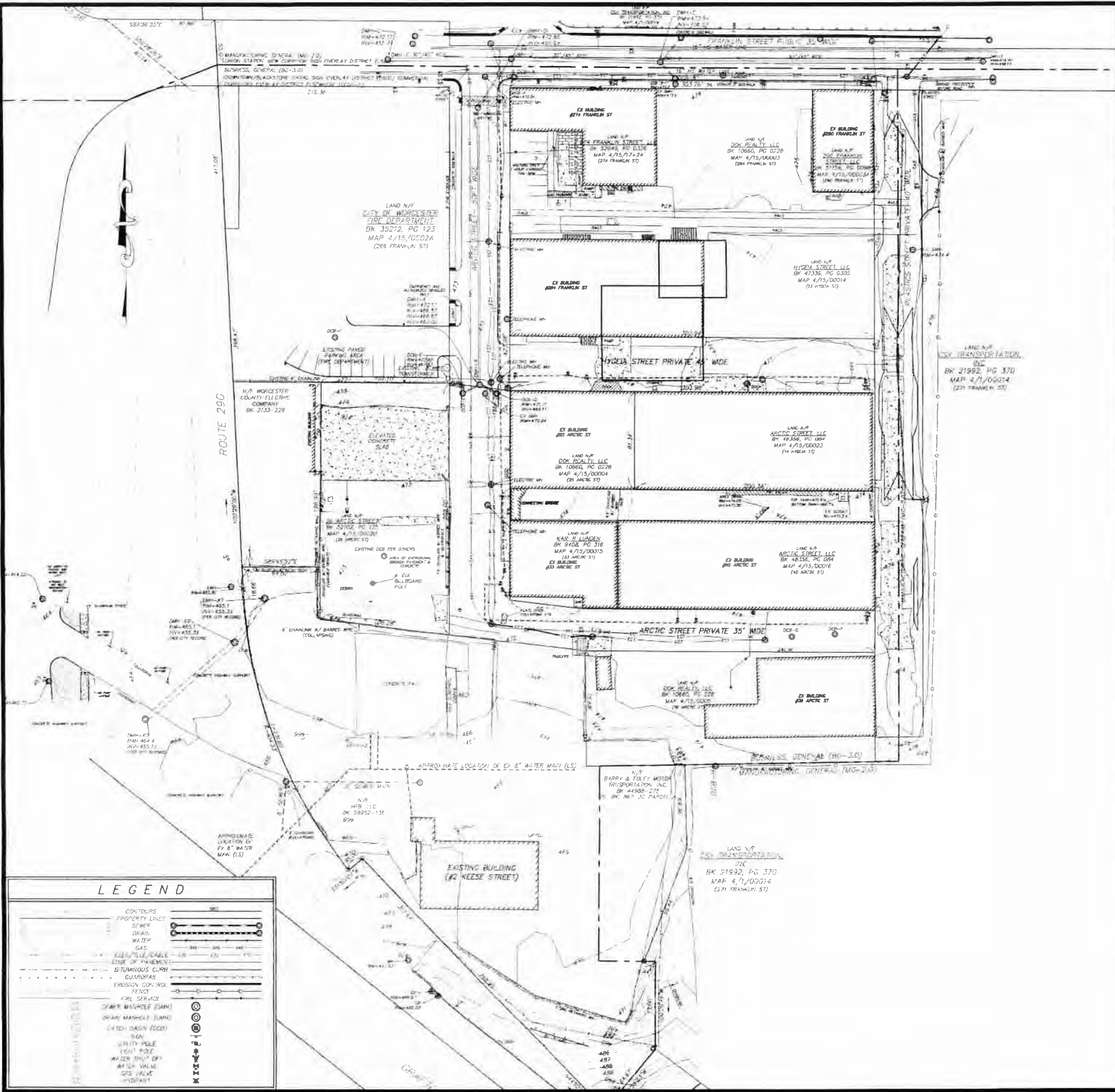
PLAN INDEX

SHEET 1	EXISTING CONDITIONS PLAN
SHEET 2	SITE DEMOLITION PLAN
SHEET 3	SITE DEVELOPMENT PLAN
SHEET 4	SITE UTILITY PLAN
SHEET 5	SITE GRADING PLAN
SHEET 6	LANDSCAPE AND LAYOUT DIAGRAM
SHEET 7	LIGHTING DIAGRAM
SHEET 8-14	CONSTRUCTION DETAILS
SHEETS L1-L10	LANDSCAPING PLANS

PREPARED BY EARTH DESIGN LANDSCAPE ARCHITECTURE

PERMITTING/BID SET - NOT FOR CONSTRUCTION

3030 - GOVENTURE CAPITAL GROUP, LLC - C-18-9 (REVISION 22, 2023)



VICINITY MAP
SCALE: 1"=1,000'

APPLICANT:
GOVERNURE CAPITAL GROUP, LLC
10 E. WORCESTER STREET, SUITE 3A
WORCESTER, MASSACHUSETTS 01605

PROJECT INFORMATION

LAND INFORMATION

MAP/PARCEL: 24-35/24, 24, 43, 7, 13, 14, 15, 16, 21, 24 04-14-24-33
 DEED BOOK/PAGE: 448-2
 PROPOSED FRONTAGE: 303.76 FT
 PROPOSED AREA: 5.75 ACRES

ZONING INFORMATION

ZONING DISTRICT: BUSINESS GENERAL (BG-3.0)
 COMMERCIAL CORRIDORS OVERLAY DISTRICT (COV-1)
 DOWNSTREAM SLURFING CANAL SOV OVERLAY DISTRICT (SOV-1)

MINIMUM REQUIREMENTS

MINIMUM AREA:	5,000 SF	3.85 AC
MINIMUM FRONTAGE:	40 FEET/AVG (MAX 200')	303.76 FT
MINIMUM HEIGHT:	100 FEET	55.17 FT
FRONT YARD:	N/A	5.50 FT
FRONT YARD:	5'-FT (CHANG FLOOR RESIDENCE)	5.50 FT
SIDE YARD:	N/A	NA
REAR YARD:	10 FT	NA
FLOOR AREA RATIO:	3:1 (BUILDING/LAND)	1.9:1

- GENERAL NOTES:**
- PROPERTY LINE INFORMATION BASED DEEDS AND PLANS OF RECORD. NO CERTIFICATION OF PROPERTY LINES SHOWN ON THIS PLAN IS INTENDED OR WARRANTEED BY HANNIGAN ENGINEERING, INC. TOPOGRAPHIC INFORMATION IS THE RESULT OF AN ON-THE-GROUND TOPOGRAPHIC SURVEY BY HANNIGAN ENGINEERING, INC. IN SEPTEMBER OF 2021.
 - LOCATION OF ALL UTILITIES ARE APPROXIMATE AS SHOWN AND BASED UPON PUBLIC STRUCTURES AT THE TIME OF THE FIELD SURVEY. LOCATION OF EXISTING UTILITIES AND SUBSURFACE STRUCTURES, WHETHER OR NOT SHOWN ON THESE PLANS, SHALL BE DETERMINED BY THE CONTRACTOR. MARKED THE FIELD AND REMOVED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE AWARE OF THE OBLIGATION TO ALL UTILITY COMPANIES AND AGENCY AS WELL AS DO-SAFE PRIOR TO EXCAVATION. (SEE NOTE)
 - NOTIFICATION REQUIREMENTS SHOWN ON THIS PLAN SHALL NOT RELIEVE THE CONTRACTOR OF ANY OTHER REQUIREMENTS WHICH MAY EXIST UNDER LOCAL, STATE, OR FEDERAL JURISDICTION TO WHICH THE CONTRACTOR IS OBLIGATED.
 - RELOCATION OF AND/OR CONNECTION TO EXISTING UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY.
 - UNLESS OTHERWISE SPECIFIED, ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH THE REQUIREMENTS OF THE CITY OF WORCESTER AND THE MASS DOT SPECIFICATIONS OF HIGHWAYS AND BRIDGES.
 - ALL SLOPES UNLESS OTHERWISE SPECIFIED, SHALL BE LOANED AND SEEDED FOR STABILIZATION.
 - ANY DEVIATIONS IN DESIGN AS SHOWN SHALL REQUIRE A REVIEW AND APPROVAL OF THE DESIGN ENGINEER OR FIRM. CHANGES MADE IN THE FIELD MADE WITHOUT AUTHORIZATION SHALL BE SUBJECT TO REVIEW BY THE ENGINEER AND APPROPRIATE APPROVING AUTHORITY. EXPENSES INCURRED TO BRING THE UNAUTHORIZED CHANGES TO ACCEPTABLE CONFORMANCE SHALL BE BORNE BY THE COMPANY OR CONTRACTOR MAKING THE UNAUTHORIZED CHANGE.
 - ANY MATERIALS DISCOVERED ON-SITE WHICH ARE NOT SUITABLE FOR USE IN THE PROJECT AS SHOWN ON THIS PLAN SHALL BE REMOVED AND Hauled OFF-SITE TO AN APPROPRIATELY LICENSED FACILITY.
 - PLANS TO BE REVIEWED BY APPLICABLE UTILITY AGENCIES FOR COMPLIANCE WITH REGULATIONS. FINAL LOCATION IS SUBJECT TO CHANGE.
 - APPLICANT SHOULD BE AWARE OF OBLIGATIONS TO COMPLY WITH CHAPTER 131, SECTION 46 OF THE MASSACHUSETTS GENERAL LAWS, OTHERWISE KNOWN AS THE WETLANDS PROTECTION ACT, AND THE ASSOCIATED REGULATIONS (310 CMR 10.00).
 - AREAS OF FILL TO BE COMPACTED TO A MINIMUM 95% DRY DENSITY IN AREAS WITHIN ROADWAYS AND UTILITY EASEMENTS. OTHER AREAS OF FILL TO BE COMPACTED TO A MINIMUM 90% DRY DENSITY. ALL FILL MATERIALS ARE TO BE CLEAN FILL, FREE OF DELETERIOUS MATERIALS AND DEBRIS.
 - ALL SIDEWALKS AND PATHS TO CONFORM TO REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA), AS REQUIRED. SEE ARCHITECTURAL PLANS FOR CONFORMANCE REQUIREMENTS FOR PROPOSED BUILDINGS.
 - THE AREA PROPOSED FOR DEVELOPMENT IS NOT WITHIN A 100 YEAR FLOOD PLAIN PER FEMA FIRM PANEL 25027C-0618 E, DATED JULY 4, 2011. COMPLIANCE WITH APPLICABLE REGULATIONS IS REQUIRED.
 - ALL REINFORCED CONCRETE PIPE TO BE CLASS B UNLESS OTHERWISE NOTED.
 - PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - ALL UTILITIES ARE TO BE INDICATED BY A (HANNIGAN) SYMBOL (CONTRACTOR LICENSED) BY THE CITY OF WORCESTER.

DEFINITIVE SITE PLAN

NO	DATE	REVISIONS	BY
9	11/1/2023	PERMITTING/CITY COMMENT	CMA
8	8/22/2023	LAYOUT REVISIONS	CMA
7	6/7/2023	LAYOUT REVISIONS	CMA
6	5/14/2024	LAYOUT REVISIONS	CMA
5	1/6/23	CITY DEPARTMENT COMMENT	CMA



HANNIGAN ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS

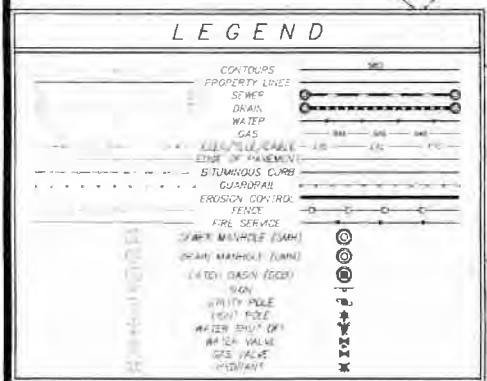
11 WILMINGTON SQUARE
 WORCESTER, MASSACHUSETTS 01605
 WWW.HANNIGANENGINEERING.COM

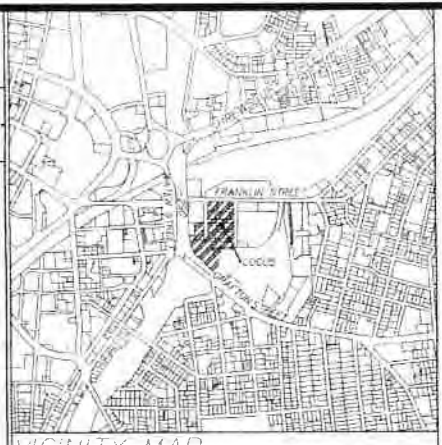
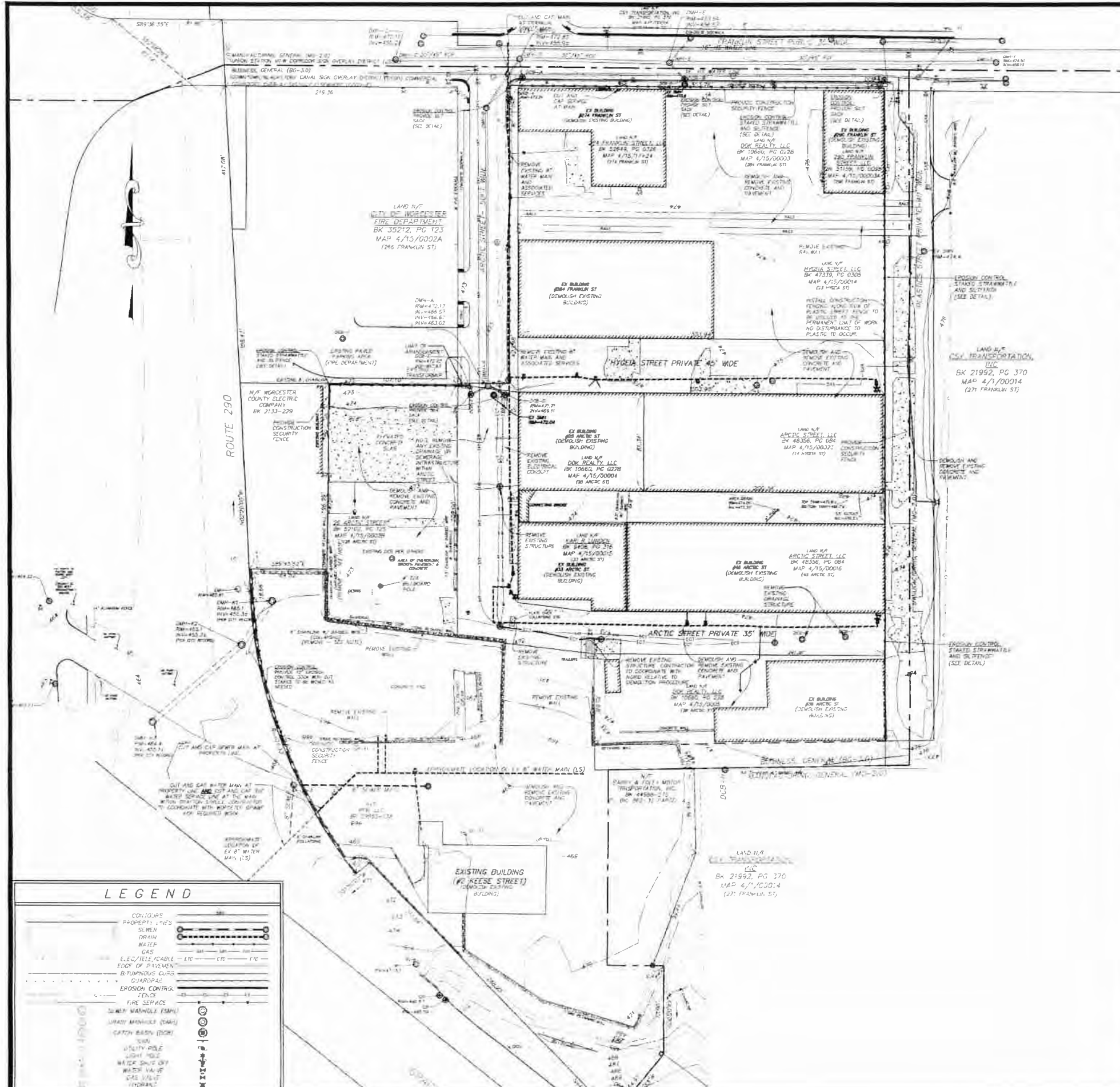
**EXISTING CONDITIONS PLAN
 IN
 WORCESTER, MASSACHUSETTS**

PREPARED FOR:
 GOVERNURE CAPITAL GROUP, LLC
 BRENDAN DOVE
 10 E. WORCESTER ST
 WORCESTER, MASSACHUSETTS 01604



CALC: DJL	DRWN: JHC/DJL	SCALE: 1"=40'
CHKD: DJL	APPD: WDH	DATE: NOV 12 2023
SRV: JHC	FB: 71-144	JOB NO: 3030
TAB: (1) EXCOND	SHEET 1 OF 13	PLAN NO: C-18-9





APPLICANT:
 GOVENTURE CAPITAL GROUP, LLC
 10 E WORCESTER STREET, SUITE 34
 WORCESTER, MASSACHUSETTS 01605

PROJECT INFORMATION

LAND AND RECORDS

MAP PANEL: 14-30/24 3 3A 4 5 7 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

DEED BOOK PAGE: 64525

PROPOSED FRONTAGE: 303.76 FT

PROPOSED AREA: 5.78 ACRES

ZONING INFORMATION

ZONING DISTRICT: BUSINESS GENERAL (BG-30)

COMMERCIAL COSMOPOLITAN DISTRICT ELSEWHERE (CCO30-E)

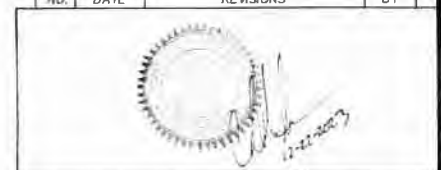
COMMERCIAL BUSINESS CANAL DISTRICT (CB30C)

MINIMUM AREA	MINIMUM FRONTAGE	MINIMUM HEIGHT	MINIMUM SETBACK	MINIMUM FLOOR AREA	MINIMUM FLOOR AREA PER UNIT
5,000 SF	40 FEET/UNIT (MAX 200')	3.89 AC	303.76 FT	100 FEET	55.17 FT
N/A	N/A	5.50 FT	N/A	N/A	N/A
N/A	N/A	10 FT	N/A	N/A	N/A
N/A	N/A	3:1 (BUILDING LAND)	N/A	N/A	N/A

- GENERAL NOTES:**
- PROPERTY LINE INFORMATION BASED DEEDS AND PLANS OF RECORD. NO CERTIFICATION OF PROPERTY LINES SHOWN ON THIS PLAN IS INTENDED OR MADE BY HANNIGAN ENGINEERING, INC. TOPOGRAPHIC INFORMATION IS THE RESULT OF AN ON-DE-GROUND TOPOGRAPHIC SURVEY BY HANNIGAN ENGINEERING, INC. IN SEPTEMBER OF 2021.
 - LOCATION OF ALL UTILITIES ARE APPROXIMATE AS SHOWN AND BASED UPON VISIBLE STRUCTURES AT THE TIME OF THE FIELD SURVEY. LOCATION OF EXISTING UTILITIES AND SUBSURFACE STRUCTURES, WHETHER OR NOT SHOWN ON THESE PLANS, SHALL BE DETERMINED BY THE CONTRACTOR BEFORE THE FIELD, AND REVEALED BY THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE AWARE OF THE OBLIGATION TO ALL UTILITY COMPANIES AND AGENCIES AS WELL AS THE SAFE PRACTICE OF EXCAVATION (SEE NOTE).
 - NOTIFICATION REQUIREMENTS SHOWN ON THIS PLAN SHALL NOT RELIEVE THE CONTRACTOR OF ANY OTHER REQUIREMENTS WHICH MAY EXIST UNDER LOCAL, STATE, OR FEDERAL JURISDICTION TO WHICH THE CONTRACTOR IS OBLIGATED.
 - RELOCATION OF AND/OR CONNECTION TO EXISTING UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY.
 - UNLESS OTHERWISE SPECIFIED, ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH THE REQUIREMENTS OF THE CITY OF WORCESTER AND THE MASS DOT SPECIFICATIONS OF HIGHWAYS AND BRIDGES.
 - ALL SLOPES UNLESS OTHERWISE SPECIFIED, SHALL BE LOANED AND SEEDED FOR STABILIZATION.
 - ANY EXCAVATIONS IN DESIGN AS SHOWN SHALL REQUIRE A REVIEW AND APPROVAL OF THE DESIGN ENGINEER OF RECORD. CHANGES MADE IN THE FIELD MADE WITHOUT AUTHORIZATION SHALL BE SUBJECT TO REVIEW BY THE ENGINEER AND APPROPRIATE APPROVING AUTHORITY. EXPENSE INCURRED TO BRING THE UNAUTHORIZED CHANGES TO ACCEPTABLE PERFORMANCE SHALL BE BORNE BY THE CONTRACTOR MAKING THE UNAUTHORIZED CHANGE.
 - ANY MATERIALS DISCOVERED ON-SITE WHICH ARE NOT SHOWN FOR USE IN THE PROJECT AS SHOWN ON THESE PLANS SHALL BE REMOVED AND SHALL BE OFF-SITE TO AN APPROPRIATELY LICENSED FACILITY.
 - PLANS TO BE REVIEWED BY APPLICABLE UTILITY AGENCIES FOR COMPLIANCE WITH REGULATIONS. FINAL LOCATION IS SUBJECT TO CHANGE.
 - APPLICANT SHOULD BE AWARE OF OBLIGATIONS TO COMPLY WITH CHAPTER 131, SECTION 40 OF THE MASSACHUSETTS GENERAL LAWS, OTHERWISE KNOWN AS THE WETLANDS PROTECTION ACT, AND THE ASSOCIATED REGULATIONS (10A CMR 10.00).
 - AREAS OF FILL TO BE COMPACTED TO A MINIMUM 95% DRY DENSITY IN AREAS WITHIN ROADWAYS AND UTILITY EASEMENTS. OTHER AREAS OF FILL TO BE COMPACTED TO A MINIMUM 90% DRY DENSITY. ALL FILL MATERIALS ARE TO BE CLEAN FILL FREE OF DELETERIOUS MATERIALS AND DEBRIS.
 - ALL SIDEWALKS AND RAMPS TO CONFORM TO REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA), AS REQUIRED. SEE ARCHITECTURAL PLANS FOR CONFORMANCE REQUIREMENTS FOR PROPOSED BUILDINGS.
 - THE AREA PROPOSED FOR DEVELOPMENT IS NOT WITHIN A 100 YEAR FLOOD PLAIN PER F.L.M.A. FROM PANEL 105027C-0616 E DATED JULY 4 2011. COMPLIANCE WITH APPLICABLE REGULATIONS IS REQUIRED.
 - ALL REINFORCED CONCRETE PIPE TO BE CLASS B UNLESS OTHERWISE NOTED.
 - PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - ALL UTILITIES ARE TO BE INSTALLED BY A LICENSED UTILITY CONTRACTOR LICENSED BY THE CITY OF WORCESTER.

DEFINITIVE SITE PLAN

NO.	DATE	REVISIONS	BY
10	12/23/2024	PERMITTING/CITY COMMENT	CMA
9	11/11/2024	PERMITTING/CITY COMMENT	CMA
8	8/22/2024	LAYOUT REVISIONS	CMA
7	6/27/2023	LAYOUT REVISIONS	CMA
6	6/8/2023	LAYOUT REVISIONS	CMA



HANNIGAN ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS

8 MONUMENT SQUARE
 LEWISTOWN, MASSACHUSETTS 01460
 WWW.HANNIGAN-ENG.COM

10 PROSPECT STREET
 LEWISTOWN, MASSACHUSETTS 01460
 (508) 538-3000

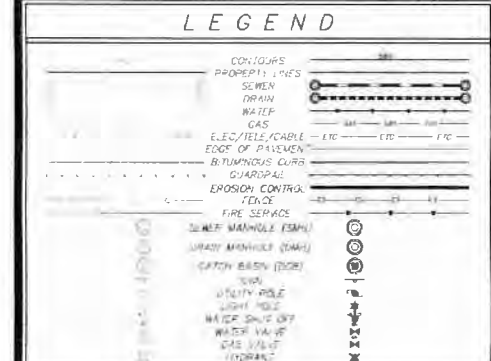
**SITE DEMOLITION PLAN
 IN
 WORCESTER, MASSACHUSETTS**

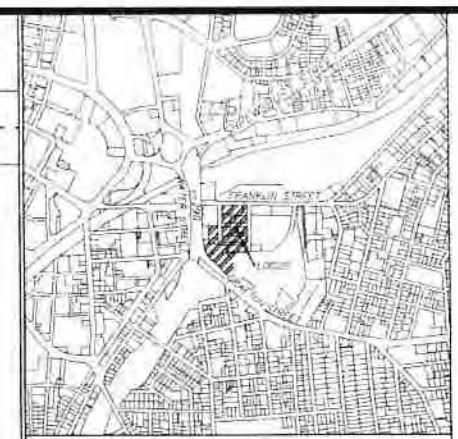
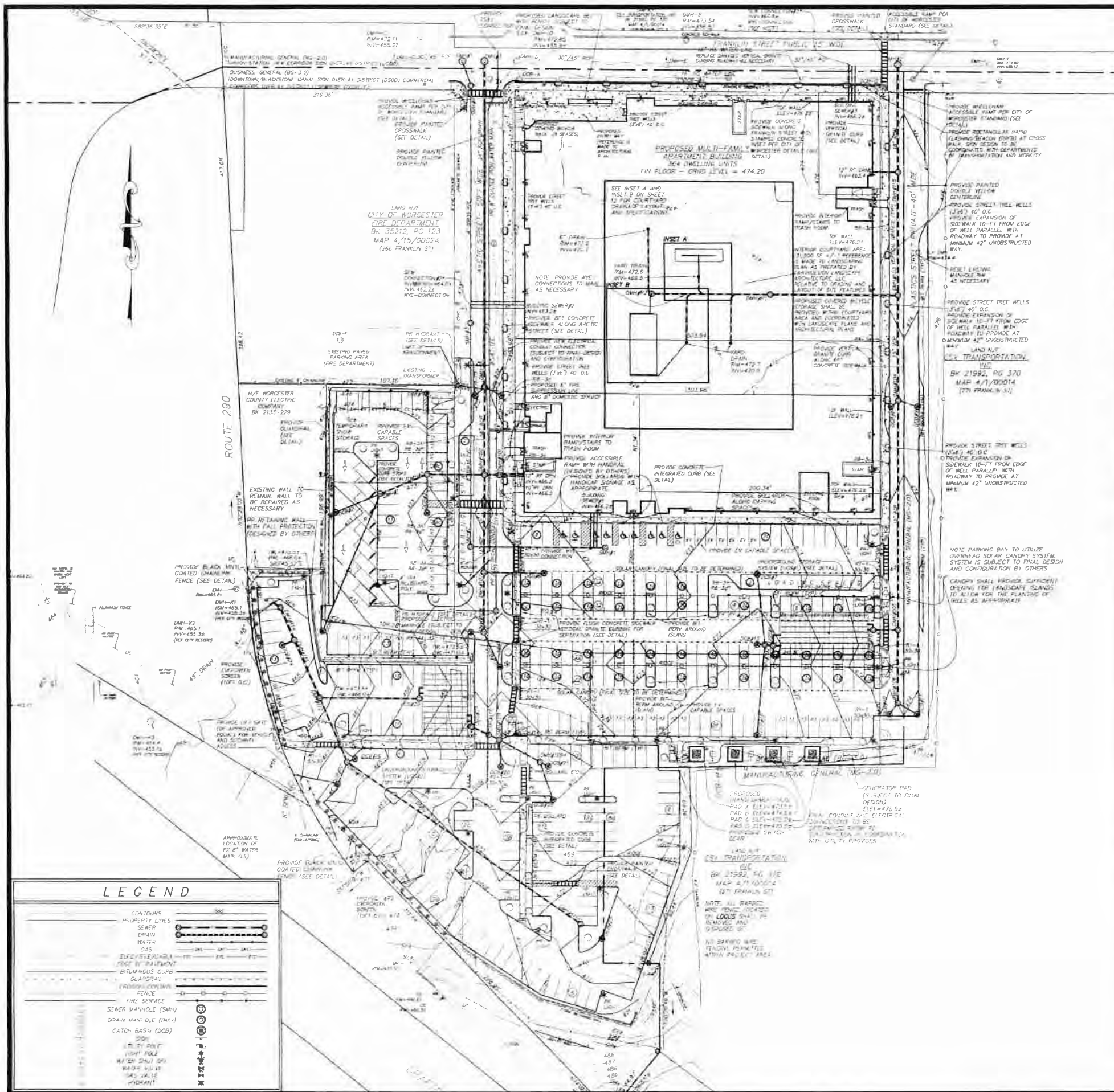
PREPARED FOR:
 GOVENTURE CAPITAL GROUP, LLC.
 BRENDAN GOVE
 10 E WORCESTER ST
 WORCESTER, MASSACHUSETTS 01604

TEL: _____



CALC: CMA, WD	DRWN: CMA, WGH	SCALE: 1"=40'
CHKD: WGH	APPD: WGH	DATE: NOV 12, 2024
SRV: JHG	FB: 71-144	JOB NO: 4030
TAB: (2) DEMO	SHEET 2 OF 12	PLAN NO: C-18-9





PARKING CALCULATION:
MULTI-FAMILY RESIDENTIAL COOD-E DISTRICT
 200 MINIMUM SURFACE SPACES
 1 SPACE PER UNIT
 364 UNITS X 1 SPACE = 364 SPACES
 1 SPACE PER 10 UNITS (GUEST)
 364 UNITS / 10 UNITS = 36.4 SPACES
TOTAL SPACES REQUIRED=401 SPACES REQUIRED
TOTAL PROVIDED
 TOTAL SURFACE PARKING = 392
TOTAL SPACES PROVIDED = 392 SPACES

BICYCLE SPACE REDUCTION:
 EXTERIOR PROVIDED BICYCLE SPACES = 24 SPACES
 REDUCTION ALLOWED = 24 SPACES / 2 = 12 SPACES
 REDUCTION ALLOWED = 10 SPACES (10 SPACES MAX)

COMPACT PARKING COUNT
 OFFICUT PARKING = 92 SPACES
 BICYCLE REDUCED SPACES = 10 SPACES
TOTAL PARKING PROVIDED = 402 SPACES

COMPACT SPARKING SPACE CALCULATION
 392 SPACES X 25% = 98 SPACES BY RIGHT
 97 SPACES PROVIDED (24.7% COMPACT)

MISCELLANEOUS PARKING COUNT:
 10 ELECTRIC VEHICLE CAPABLE SPACES
 9 HANDICAP ACCESSIBLE PARKING SPACES
 4 LOADING SPACES

APPLICANT:
 GOVENTURE CAPITAL GROUP, LLC
 10 E WORCESTER STREET, SUITE 3A
 WORCESTER, MASSACHUSETTS 01605

PROJECT INFORMATION

LAND INFORMATION:
 MAP/PARCEL: 04 015/00024 4 5 213 16 016 1317 24 04 14 24 30
 ZONE: LARUS
 PROPOSED FRONTAGE: 303.76 FT
 PROPOSED AREA: 8.79 ACRES

TOWNING INFORMATION:
 ZONING DISTRICT: BUSINESS GENERAL (BG 3.0)
 COMMERCIAL CORRIDORS OVERLAY DISTRICT ELSEWHERE (COOD-E)
 (DOWNTOWN/BELLEVILLE CANAL SQN OVERLAY DISTRICT) (DOW-E)

MINIMUM REQUIREMENTS REQUIRED:

MINIMUM AREA	5,000 SF	3.85 AC
MINIMUM FRONT YARD SETBACK	40 FEET/UNIT (MAX 200')	303.76 FT
MINIMUM HEIGHT	100 FEET	53.17 FT
MINIMUM SIDE YARD SETBACK	N/A	5.50 FT
MINIMUM FRONT YARD SETBACK	2-FT (GROUND FLOOR RESIDENCE)	5.50 FT
MINIMUM REAR YARD SETBACK	N/A	14 FT
MINIMUM REAR YARD SETBACK (LOCAL ZPA 42.0)	10 FT	14 FT
MINIMUM FLOOR AREA RATIO	3.1 (BUILDING/LAND)	15.1

GENERAL NOTES:

- PROPERTY LINE INFORMATION BASED ON RECORDS AND PLANS OF RECORD. NO CERTIFICATION OF PROPERTY LINES SHOWN ON THIS PLAN IS INTENDED UNLESS INDICATED BY HANNIGAN ENGINEERING, INC. TOPOGRAPHIC INFORMATION IS THE RESULT OF AN ON-THE-GROUND TOPOGRAPHIC SURVEY BY HANNIGAN ENGINEERING, INC. IN SEPTEMBER OF 2007.
- LOCATION OF ALL UTILITIES ARE APPROXIMATE AS SHOWN AND BASED UPON UNDER STRUCTURES AT THE TIME OF THE FIELD SURVEY. LOCATION OF EXISTING UTILITIES AND SUBSURFACE STRUCTURES, WHETHER OR NOT SHOWN ON THESE PLANS, SHALL BE DETERMINED BY THE CONTRACTOR, MARKED IN THE FIELD, AND REVIEWED BY THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE AWARE OF THE OBLIGATION TO ALL UTILITY COMPANIES AND AGENCY AS WELL AS TO DO-SAFE PRIOR TO EXCAVATION (SEE NOTE).
- NO DISCREPANCY REQUIREMENTS SHOWN ON THIS PLAN SHALL NOT RELIEVE THE CONTRACTOR OF ANY OTHER REQUIREMENTS WHICH MAY EXIST UNDER LOCAL, STATE OR FEDERAL JURISDICTION TO WHICH THE CONTRACTOR IS OBLIGATED.
- RELOCATION OF AND/OR CONSTRUCTION TO EXISTING UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY.
- UNLESS OTHERWISE SPECIFIED, ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH THE REQUIREMENTS OF THE CITY OF WORCESTER AND THE MASS DOT SPECIFICATIONS OF HIGHWAYS AND BRIDGES.
- ALL SLOPES UNLESS OTHERWISE SPECIFIED, SHALL BE LOANED AND BECOME PERMANENT.
- ANY EXCAVATION IN EXCESS AS SHOWN SHALL REQUIRE A RETAINING WALL AND APPROVAL OF THE DESIGN ENGINEER OR OTHER CHANGES MADE IN THE FIELD MAKE WITHOUT AUTHORIZATION SHALL BE SUBJECT TO REVIEW BY THE ENGINEER AND APPROPRIATE APPROVING AUTHORITY. EXPENSES INCURRED TO BRING THE UNAUTHORIZED CHANGES TO ACCEPTABLE COMPLIANCE SHALL BE BORNE BY THE CONTRACTOR MAKING THE UNAUTHORIZED CHANGE.
- ANY MATERIALS OBSERVED ON-SITE WHICH ARE NOT SUITABLE FOR USE IN THE PROJECT AS SHOWN ON THIS PLAN SHALL BE REMOVED AND Hauled OFF-SITE TO AN APPROPRIATELY LICENSED FACILITY.
- PLANS TO BE REVIEWED BY APPLICABLE UTILITY AGENCIES FOR COMPLIANCE WITH REGULATIONS. FINAL LOCATION IS SUBJECT TO CHANGE.
- APPLICANT SHOULD BE AWARE OF OBLIGATIONS TO COMPLY WITH CHAPTER 131, SECTION 40 OF THE MASSACHUSETTS GENERAL LAWS, OTHERWISE KNOWN AS THE WETLANDS PROTECTION ACT, AND THE ASSOCIATED REGULATIONS (310 CMR 10.00).
- AREAS OF FILL TO BE COMPACTED TO A MINIMUM SOLID DENSITY IN AREAS WITHIN ROADWAYS AND UTILITY TRENCHES. OTHER AREAS OF FILL TO BE EQUIPPED TO A MINIMUM SOLID DENSITY. ALL FILL MATERIALS ARE TO BE CLEAN FILL, FREE OF DELETERIOUS MATERIALS AND OTHERS.
- ALL SIDEWALKS AND PATHS TO CONFORM TO REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA), AS REQUIRED. SEE ARCHITECTURAL PLANS FOR CONFORMANCE REQUIREMENTS FOR PROPOSED BUILDINGS.
- THE AREA PROPOSED FOR DEVELOPMENT IS NOT WITHIN A 100 YEAR FLOOD PLAIN PER FEMA FIRM PANEL #25027C-0518 E, DATED: JAN 4, 2011. COMPLIANCE WITH APPLICABLE REGULATIONS IS REQUIRED.
- ALL REINFORCED CONCRETE PIPE TO BE CLASS B UNLESS OTHERWISE NOTED.
- PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL UTILITIES ARE TO BE INSTALLED BY THE APPLICABLE UTILITY CONTRACTOR LICENSED BY THE CITY OF WORCESTER.

DEFINITIVE SITE PLAN

NO.	DATE	REVISIONS	BY
10	12/23/2023	PERMITTING/CITY COMMENT	CMA
9	11/11/2023	PERMITTING/CITY COMMENT	CMA
8	6/22/2023	LAYOUT REVISIONS	CMA
7	6/7/2023	LAYOUT REVISIONS	CMA
6	5/4/2023	LAYOUT REVISIONS	CMA

HANNIGAN ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS

10 E WORCESTER STREET, SUITE 3A
 WORCESTER, MASSACHUSETTS 01605

SITE DEVELOPMENT PLAN

IN
WORCESTER, MASSACHUSETTS

PREPARED FOR:
 GOVENTURE CAPITAL GROUP, LLC
 BRENDAN GOVE
 10 E WORCESTER ST
 WORCESTER, MASSACHUSETTS 01605

TEL: _____

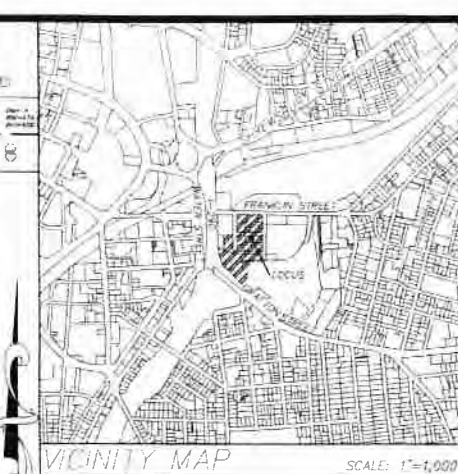
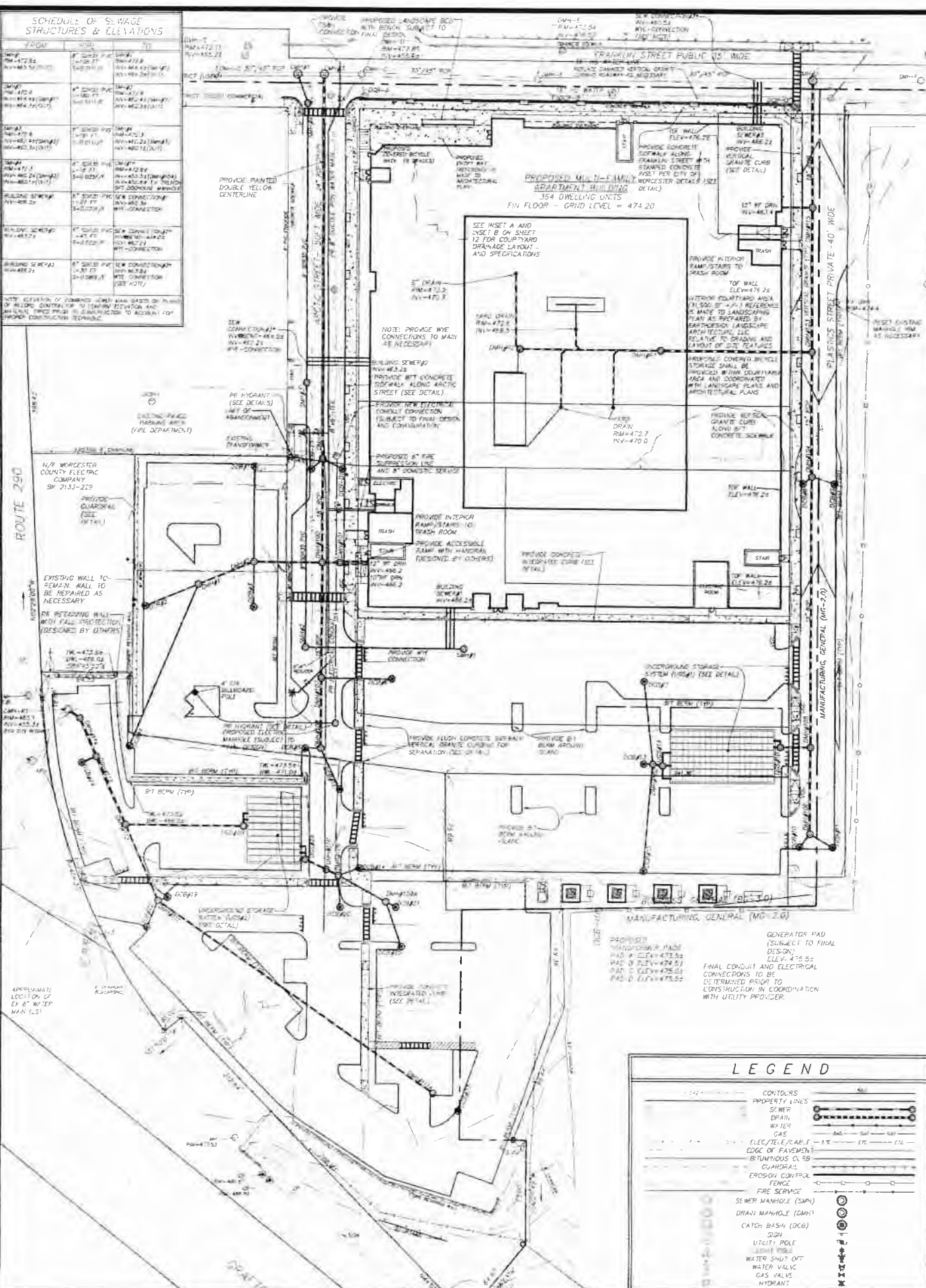
GRAPHIC SCALE: 1"=40'

CALC: CVA/WDR	DRWN: CVA/WDR	SCALE: 1"=40'
CHKD: WDR	APPD: WDR	DATE: NOV 12, 2023
SRV: JHG	FB: 71-44	JOB NO: 3030
TAB: (3) SDP	SHEET 5 OF 13	PLAN NO: C-18-9

LEGEND

CONTOURS	30'
PROPERTY LINES	---
SEWER	---
DRAIN	---
WATER	---
DATE	---
EXISTING/PROPOSED	---
FORCE BY CONTRACTOR	---
BIRMINGHAM CURB	---
GUARDRAIL	---
PROPOSED CONCRETE	---
FENCE	---
FIRE SERVICE	---
SEWER MANHOLE (SMH)	---
DRAIN MANHOLE (DMH)	---
CATCH BASIN (CDB)	---
SOI	---
UTILITY POLE	---
LIGHT POLE	---
WATER SHUT OFF	---
WATER VALVE	---
WATER VALVE	---
HYDRANT	---

SCHEDULE OF DRAINAGE STRUCTURES & ELEVATIONS		SCHEDULE OF DRAINAGE STRUCTURES & ELEVATIONS		SCHEDULE OF SEWAGE STRUCTURES & ELEVATIONS	
FROM	TO	FROM	TO	FROM	TO
MANHOLE 421.12	MANHOLE 421.13	MANHOLE 421.12	MANHOLE 421.13	MANHOLE 421.12	MANHOLE 421.13
MANHOLE 421.14	MANHOLE 421.15	MANHOLE 421.14	MANHOLE 421.15	MANHOLE 421.14	MANHOLE 421.15



PARKING CALCULATION:
MULTI-FAMILY RESIDENTIAL CCOD-E DISTRICT PER ZONING ORDINANCE
 1 SPACE PER UNIT
 164 UNITS X 1.5 SPSU = 246 SPACES
1 SPACE PER 10 UNITS (GUEST)
 364 UNITS / 10 UNITS = 36.4 SPACES
TOTAL SPACES PROVIDED = 492 SPACES REQUIRED

TOTAL PROVIDED
 TOTAL SURFACE PARKING = 392
TOTAL SPACES PROVIDED = 492 SPACES

EXTERIOR PROVIDED BICYCLE SPACES = 24 SPACES
 REDUCTION ALLOWED = 24 SPACES / 2 = 12 SPACES
 REDUCTION ALLOWED = 10 SPACES (10 SPACES MAX)

COMPACT PARKING COUNT
 VEHICLE PARKING = 392 SPACES
 BICYCLE REDUCED SPACES = 10 SPACES
TOTAL PARKING PROVIDED = 402 SPACES

COMPACT PARKING SPACE CALCULATION
 396 SPACES X 25% = 99 SPACES BY RIGHT
 97 SPACES PROVIDED (24.7% COMPACT)

MISCELLANEOUS PARKING COUNT:
 10 ELECTRIC VEHICLE CAPABLE SPACES
 9 HANDICAP ACCESSIBLE PARKING SPACES
 4 LOADING SPACES

APPLICANT:
 GOVENTURE CAPITAL GROUP, LLC
 10 E WORCESTER STREET, SUITE 3A
 WORCESTER, MASSACHUSETTS 01605

PROJECT INFORMATION

LAND INFORMATION:
 MAP/FARCEL: 04 016/2A.3A 4.5.11.14.15.16.21.17.22. 04 14 24 38
 DEED BOOK/PAGE: VAS 13
 PROPOSED FRONTAGE: 331.75 FT
 PROPOSED AREA: 5.28 ACRES

ZONING INFORMATION:
 ZONING DISTRICT: BUSINESS, GENERAL (CG-3.0)
 COMMERCIAL CORRIDORS OVERLAY DISTRICT (CCOD-C)
 DOWNTOWN/BLACKSTONE CANAL SIGN OVERLAY DISTRICT (DSOO)

REQUIREMENTS:
 MINIMUM AREA: 5,000 SF
 MINIMUM FRONTAGE: 40 FEET (MAX 200')
 MAXIMUM HEIGHT: 100 FEET
 MAXIMUM SETBACKS:
 FRONT YARD: N/A (PRELIM FLOOR RESERVES)
 SIDE YARD: N/A
 REAR YARD: 10 FT
 FLOOR AREA RATIO: 3:1 (BUILDING LAND)

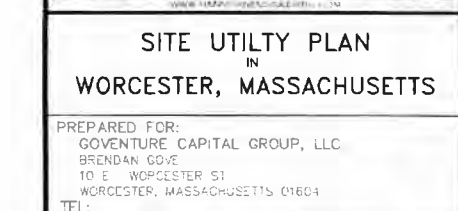
GENERAL NOTES:
 1. PROPERTY LINE INFORMATION BASED UPON RECORD PLANS OF RECORD. NO CERTIFICATION OF PROPERTY LINES SHOWN ON THIS PLAN IS INTENDED OR IMPLIED BY HANNIGAN ENGINEERING, INC. TOPOGRAPHIC INFORMATION IS THE RESULT OF AN OLD GROUND TOPOGRAPHIC SURVEY BY HANNIGAN ENGINEERING, INC. IN SEPTEMBER OF 2001.
 2. LOCATION OF ALL UTILITIES ARE APPROXIMATE AS SHOWN AND BASED UPON VISIBLE STRUCTURES AT THE TIME OF THE FIELD SURVEY. LOCATION OF EXISTING UTILITIES AND SUBSURFACE STRUCTURES WHICH MAY EXIST UNDER OR NEAR THESE PLANS, SHALL BE DETERMINED BY THE CONTRACTOR. MARKERS IN THE FIELD AND REVIEWED BY THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE AWARE OF THE OBLIGATION TO ALL UTILITY COMPANIES AND AGENCY AS WELL AS O.G. SAFE PRIOR TO EXCAVATION (SEE NOTE).
 3. INDICATION REQUIREMENTS SHOWN ON THIS PLAN SHALL NOT PRELIMINARILY BE THE CONTRACTOR OF ANY OTHER REQUIREMENTS WHICH MAY EXIST UNDER LOCAL, STATE, OR FEDERAL JURISDICTION TO WHICH THE CONTRACTOR IS OBLIGATED.
 4. RESOLUTION OF ANY/ALL CONNECTION TO EXISTING UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY.
 5. UNLESS OTHERWISE SPECIFIED, ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH THE REQUIREMENTS OF THE CITY OF WORCESTER AND THE MASS DOT SPECIFICATIONS OF HIGHWAYS AND BRIDGES.
 6. ALL SLOPES UNLESS OTHERWISE SPECIFIED, SHALL BE LOADED AND SEDED FOR STABILIZATION.
 7. ANY DEVIATIONS IN DESIGN AS SHOWN SHALL REQUIRE A REVIEW AND APPROVAL OF THE DESIGN ENGINEER OR FIRM. CHANGES MADE IN THE FIELD WITHOUT AUTHORIZATION SHALL BE SUBJECT TO REVIEW BY THE ENGINEER AND APPROPRIATE ADOPTING AGENCY. CHANGES INCURRED TO BRING THE UNAUTHORIZED CHANGES TO ACCEPTABLE CONFORMANCE SHALL BE BORNE BY THE COMPANY OR CONTRACTOR MAKING THE UNAUTHORIZED CHANGE.
 8. ANY MATERIALS DISCOVERED ON-SITE WHICH ARE NOT SUITABLE FOR USE IN THE PROJECT AS SHOWN ON THIS PLAN SHALL BE REMOVED AND HAUL OFF-SITE TO AN APPROPRIATELY LICENSED FACILITY.
 9. PLANS TO BE REVIEWED BY APPLICABLE UTILITY AGENCIES FOR COMPLIANCE WITH REGULATIONS. FINAL LOCATION IS SUBJECT TO CHANGE.
 10. APPLICANT SHOULD BE AWARE OF OBLIGATIONS TO COMPLY WITH CHAPTER 131, SECTION 40 OF THE MASSACHUSETTS GENERAL LAWS, OTHERWISE KNOWN AS THE METLANDS PROTECTION ACT, AND THE ASSOCIATED REGULATIONS (310 CMR 10.00).
 11. AREAS OF FILL TO BE COMPACTED TO A MINIMUM 95% DRY DENSITY IN AREAS WITHIN ROADWAYS AND UTILITY EASEMENTS. OTHER AREAS OF FILL TO BE COMPACTED TO A MINIMUM 90% DRY DENSITY. ALL FILL MATERIALS ARE TO BE CLEAN FILL, FREE OF DELETERIOUS MATERIALS AND DEBRIS.
 12. ALL SIDEWALKS AND DAMPS TO CONFORM TO REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA), AS REQUIRED. SEE ARCHITECTURAL PLANS FOR CONFORMANCE REQUIREMENTS FOR PROPOSED SIDEWALKS.
 13. THE AREA PROPOSED FOR DEVELOPMENT IS NOT WITHIN A 100 YEAR FLOOD PLAIN PER FEMA ZONING MAPS (25000-1C-016). DATED JAN 4 2011. COMPLIANCE WITH APPLICABLE REGULATIONS IS REQUIRED.
 14. ALL PREPARED CONCRETE PIPE TO BE CLASS 1 UNLESS OTHERWISE NOTED.
 15. THE CONTRACTOR ON CONSTRUCTION SHALL BE HELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 16. ALL UTILITIES ARE TO BE JUSTIFIED BY A LICENSED UTILITY CONTRACTOR LICENSED BY THE CITY OF WORCESTER.

DEFINITIVE SITE PLAN

NO.	DATE	REVISIONS	BY
10	12/22/2023	PERMITTING/CITY COMMENT	CMA
9	11/1/2023	PERMITTING/CITY COMMENT	CMA
8	6/22/2023	LAYOUT REVISIONS	CMA
7	6/7/2023	LAYOUT REVISIONS	CMA
6	5/4/2023	LAYOUT REVISIONS	CMA

HANNIGAN ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS

100 WESTBURY STREET, SUITE 201
 WESTBURY, MASSACHUSETTS 01581
 WWW.HANNIGANENGINEERING.COM



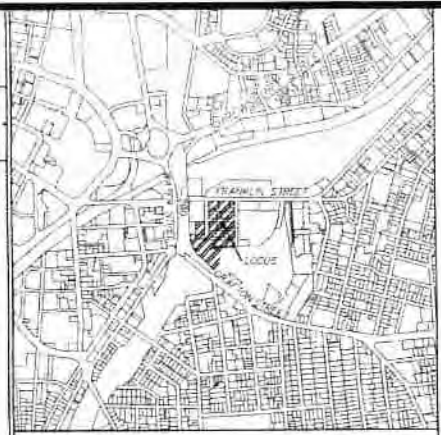
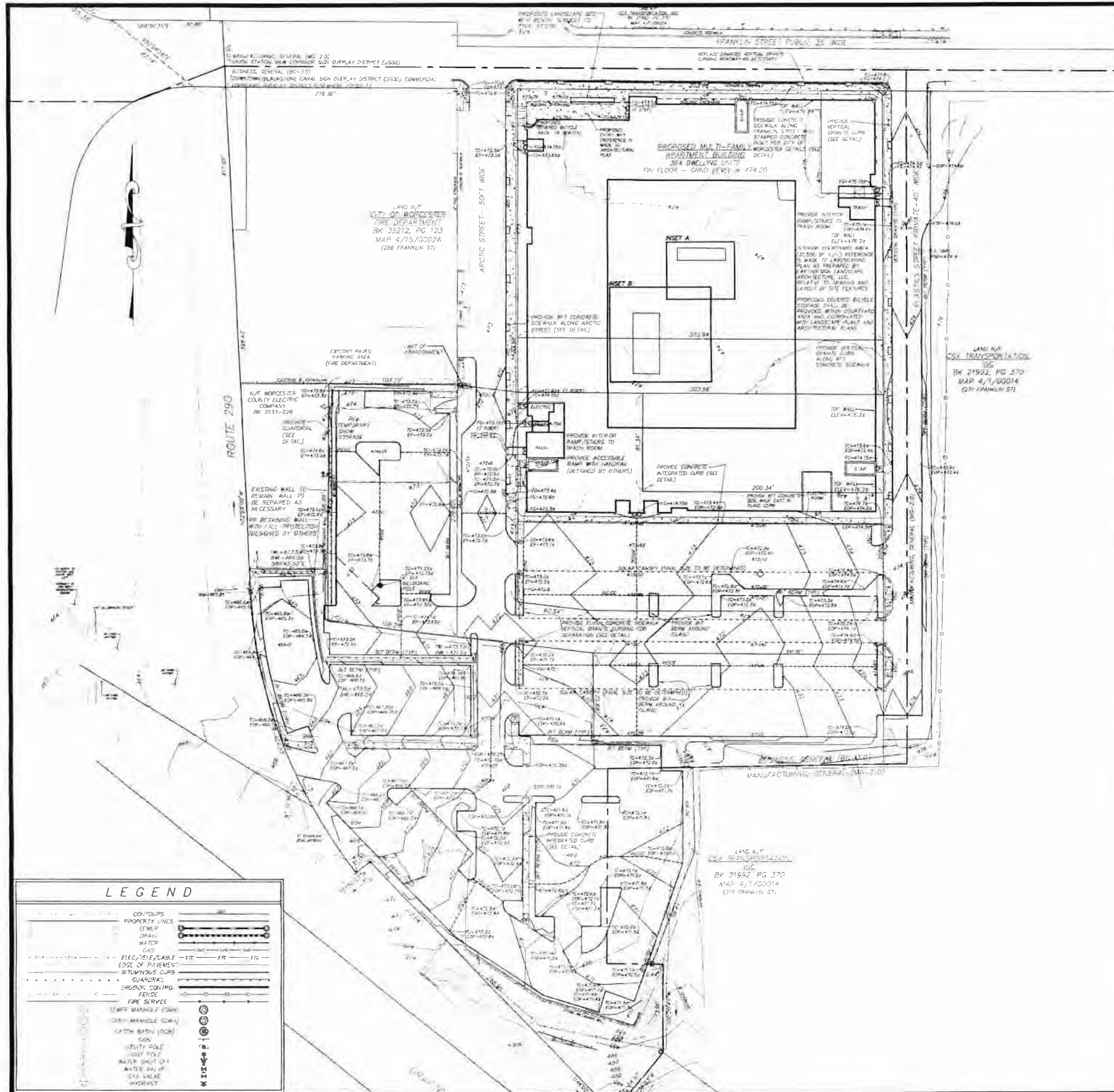
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CHKD: WGH **APPD:** WGH **DATE:** NOV 13, 2023

SRV: JHC **FB:** 71-144 **JOB NO.:** 3030

TAB: (2) U31 **SHEET:** 4 OF 13 **PLAN NO.:** 18-9





VICINITY MAP SCALE: 1"=1,000'

PARKING CALCULATION:
MULTI-FAMILY RESIDENTIAL CCOD-E DISTRICT

FOR ZONING COMPLIANCE
1 SPACE PER UNIT
364 UNITS X 1 SPACE = 364 SPACES
1 SPACE PER 10 UNITS (GUEST)
364 UNITS / 10 UNITS = 36.4 SPACES
TOTAL SPACES REQUIRED: 400 SPACES REQUIRED
TOTAL PROVIDED
TOTAL SURFACE PARKING = 392
TOTAL SPACES PROVIDED = 392 SPACES

BICYCLE SPACE REDUCTION
EXTERIOR PROVIDED BICYCLE SPACES = 24 SPACES
REDUCTION ALLOWED = 24 SPACES / 2 = 12 SPACES
REDUCTION ALLOWED = 10 SPACES (10 SPACES MAY)

CUMULATIVE PARKING COUNT
VEHICLE PARKING = 380 SPACES
BICYCLE REDUCED SPACES = 10 SPACES
TOTAL PARKING PROVIDED = 402 SPACES

COMPACT PARKING SPACE CALCULATION
386 SPACES X 25% = 96 SPACES BY RIGHT
97 SPACES PROVIDED (24.7% COMPACT)

MISCELLANEOUS PARKING COUNT:
10 ELECTRIC VEHICLE CAPABLE SPACES
8 HANDICAP ACCESSIBLE PARKING SPACES
4 LOADING SPACES

APPLICANT:
GOVENTURE CAPITAL GROUP, LLC
10 E. WORCESTER STREET, SUITE 3A
WORCESTER, MASSACHUSETTS 01605

PROJECT INFORMATION

GENERAL NOTES:
1. PROPERTY LINE INFORMATION BASED DEEDS AND PLANS OF RECORD. NO CERTIFICATION OF PROPERTY LINES SHOWN ON THIS PLAN IS INTENDED OR MADE BY HANNIGAN ENGINEERING, INC. TOPOGRAPHIC INFORMATION IS THE RESULT OF AN OLD GROUND TOPOGRAPHIC SURVEY BY HANNIGAN ENGINEERING, INC. IN SEPTEMBER OF 2021.
2. LOCATION OF ALL UTILITIES ARE APPROXIMATE AS SHOWN AND BASED UPON VISIBLE STRUCTURES AT THE TIME OF THE FIELD SURVEY. LOCATION OF EXISTING UTILITIES AND SUBSURFACE STRUCTURES, WHETHER OR NOT SHOWN ON THESE PLANS, SHALL BE DETERMINED BY THE CONTRACTOR, MARKED IN THE FIELD, AND REVIEWED BY THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE AWARE OF THE OBLIGATION TO ALL UTILITY COMPANIES AND AGENCIES AS WELL AS OBTAIN PERMITS PRIOR TO EXCAVATION (SEE NOTES).
3. NOTIFICATION REQUIREMENTS SHOWN ON THIS PLAN SHALL NOT RELIEVE THE CONTRACTOR OF ANY OTHER REQUIREMENTS WHICH MAY EXIST UNDER LOCAL, STATE, OR FEDERAL JURISDICTION TO WHICH THE CONTRACTOR IS OBLIGATED.
4. RELOCATION OF ANY/ALL CONDUITS TO EXISTING UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH PROVISIONS OF THE APPROPRIATE UTILITY COMPANIES AND REGULATIONS. CHANGES MADE IN THE FIELD MADE WITHOUT AUTHORIZATION SHALL BE SUBJECT TO REVIEW BY THE ENGINEER AND APPROPRIATE APPROVAL AUTHORITY. EXPENSES INCURRED TO BRING THE UNAUTHORIZED CHANGES TO ACCEPTABLE CONFORMANCE SHALL BE BORNE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED.
5. ALL SLOPES UNLESS OTHERWISE SPECIFIED, SHALL BE LOANED AND SEEDED FOR STABILIZATION.
6. ANY DEVIATIONS IN DESIGN AS SHOWN SHALL REQUIRE A REVIEW AND APPROVAL OF THE DESIGN ENGINEER OR FIRM. CHANGES MADE IN THE FIELD MADE WITHOUT AUTHORIZATION SHALL BE SUBJECT TO REVIEW BY THE ENGINEER AND APPROPRIATE APPROVAL AUTHORITY. EXPENSES INCURRED TO BRING THE UNAUTHORIZED CHANGES TO ACCEPTABLE CONFORMANCE SHALL BE BORNE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED.
7. ANY MATERIALS DISCOVERED ON-SITE WHICH ARE NOT SUITABLE FOR USE IN THE PROJECT AS SHOWN ON THIS PLAN SHALL BE REMOVED AND Hauled OFF-SITE TO AN APPROPRIATE LICENSED FACILITY.
8. PLANS TO BE REVIEWED BY APPLICABLE UTILITY AGENCIES FOR COMPLIANCE WITH REGULATIONS FINAL LOCATION IS SUBJECT TO CHANGE.
9. APPLICANT SHOULD BE AWARE OF OBLIGATIONS TO COMPLY WITH CHAPTER 131, SECTION 40 OF THE MASSACHUSETTS GENERAL LAWS, OTHERWISE KNOWN AS THE WETLANDS PROTECTION ACT, AND THE ASSOCIATED REGULATIONS (310 CMR 10.00).
10. AREAS OF FILL TO BE COMPACTED TO A MINIMUM BASE DRY DENSITY IN AREAS WITH PROXIMITY AND UTILITY EASEMENTS. OTHER AREAS OF FILL TO BE COMPACTED TO A MINIMUM DRY DENSITY. ALL FILL MATERIALS ARE TO BE CLEAN FILL, FREE OF DILUTANT MATERIALS AND DEBRIS.
11. ALL SIDEWALKS AND RAMPS TO CONFORM TO REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AS REQUIRED. SEE ARCHITECTURAL PLANS FOR PERFORMANCE REQUIREMENTS FOR PROPOSED BUILDINGS.
12. THE AREA PROPOSED FOR DEVELOPMENT IS NOT WITHIN A 100 YEAR FLOOD PLAIN PER FEMA FIRM PANEL 220202C-D010 E, DATED: JULY 4, 2011. COMPLIANCE WITH APPLICABLE REGULATIONS IS REQUIRED.
13. ALL REINFORCED CONCRETE PIPE TO BE CLASS II UNLESS OTHERWISE NOTED.
14. PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
15. ALL UTILITIES ARE TO BE INSTALLED BY A LICENSED UTILITY CONTRACTOR LICENSED BY THE CITY OF WORCESTER.

DEFINITIVE SITE PLAN

NO	DATE	REVISIONS	BY
16	2/22/2023	PERMITTING/CITY COMMENT	CMA
5	11/1/2022	PERMITTING/CITY COMMENT	CMA
8	8/22/2022	LAYOUT REVISIONS	CMA
7	6/1/2022	LAYOUT REVISIONS	CMA
6	5/4/2022	LAYOUT REVISIONS	CMA

HANNIGAN ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS

17-22-2023

SITE GRADING PLAN
IN
WORCESTER, MASSACHUSETTS

PREPARED FOR:
GOVENTURE CAPITAL GROUP, LLC
BRENDA GOV
10 E. WORCESTER ST
WORCESTER MASSACHUSETTS 01604

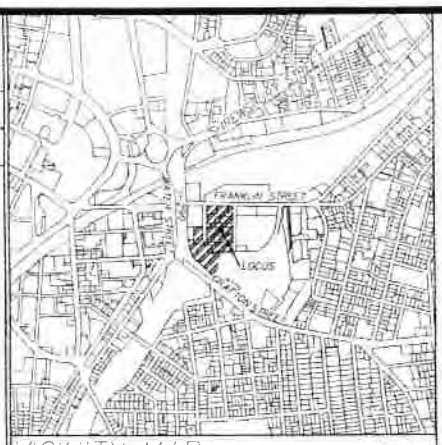
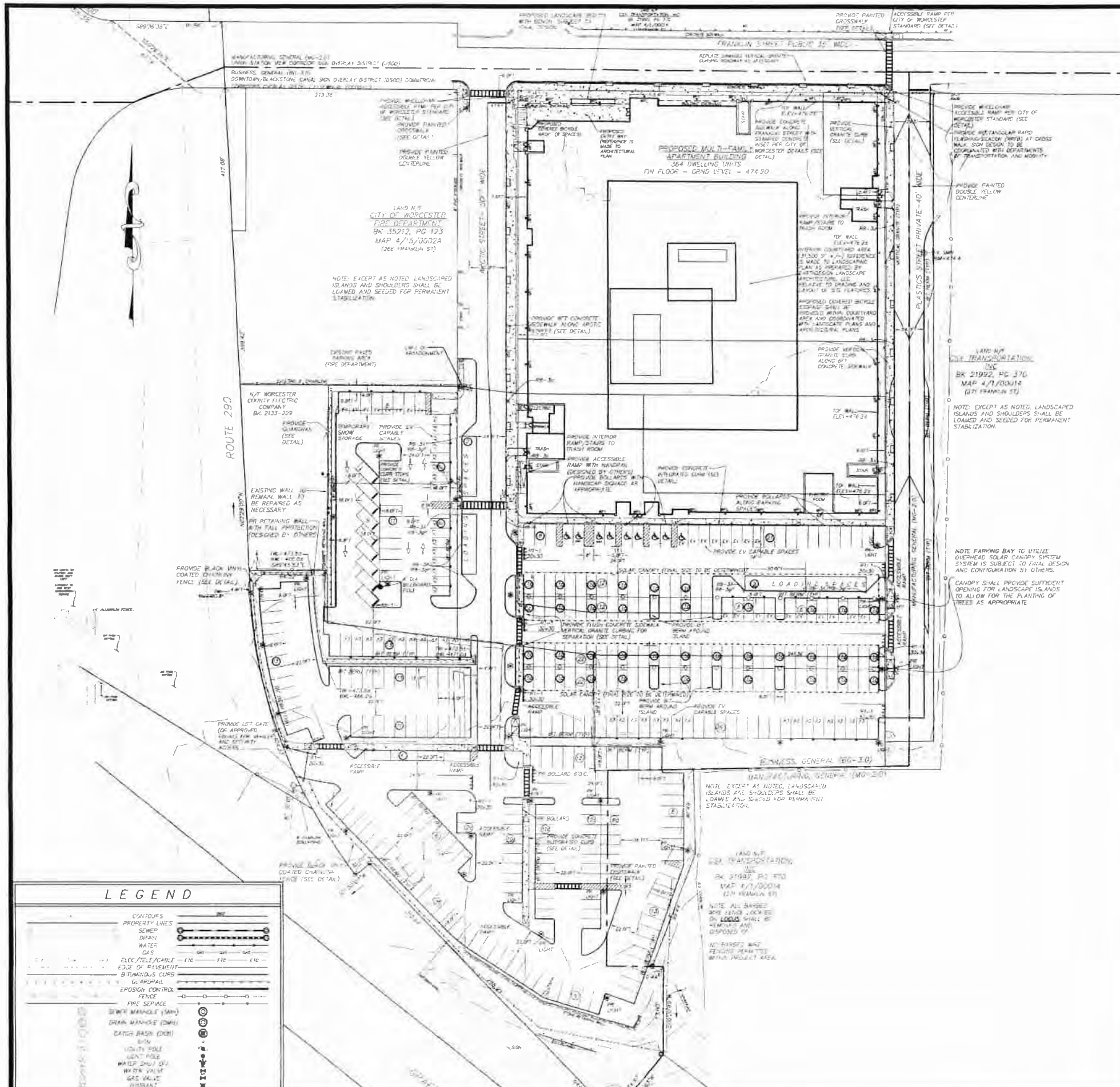
TEL: GRAPHIC SCALE: 1"=40'
SCALE: 1"=40'
FEET
METERS

CALC: CMA/AGH DRWN: CMA/AGH SCALE: 1"=40'
CHKD: WDM APPD: AGH DATE: NOV 12, 2022

SRV: JIG FB: 71-144 JOB NO: 3030
TAB: (5) GRAD SHEET 5 OF 13 PLAN NO: 18-9

LEGEND

CONTOURS	PROPERTY LINES	SEWER	WATER	GAS	ELECTRICAL	ETC	ETC
EDGE OF PAVEMENT	RETAINING CURB	GUARDRAIL	SHOULDER CONTOUR	FENCE	SEWER MANHOLE (SMH)	RAIN MANHOLE (RMH)	CATCH BASIN (CB)
CON	HEAVY POLE	LIGHT POLE	WATER SHUT OFF	WATER VALVE	GAS VALVE	HYDRANT	



PROJECT INFORMATION

MAP/PARCEL	04-015/26.3.3A.4.5.7.13.14.15.16.23.17-24	04-04-244-01
DTED SHOW/PAGE	1.19.15	
PROPOSED FRONTAGE	103.75 FT	
PROPOSED AREA	5.78 ACRES	

MINIMUM AREA	5,000 SF	MINIMUM FRONTAGE	40 FEET/LAND (MAX 200')	MINIMUM SETBACKS	N/A	FRONT YARD	5-FT (SPRING FLOOR RESIDENCE)	5.50 FT	REAR YARD	10 FT	5.50 FT	FLOOR AREA RATIO	3.1 (BUILDING LAND)	1.9:1
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GENERAL NOTES:

- PROPERTY LINE INFORMATION BASED UPON RECORDS AND PLANS OF RECORD. NO IDENTIFICATION OF PROPERTY LINES SHOWN ON THIS PLAN IS GUARANTEED OR WARRANTED BY HANNIGAN ENGINEERING, INC. TOPOGRAPHIC INFORMATION IS THE RESULT OF AN "AS SHOWN" TOPOGRAPHIC SURVEY BY HANNIGAN ENGINEERING, INC. IN SEPTEMBER OF 2012.
- LOCATION OF ALL UTILITIES ARE APPROXIMATE AS SHOWN AND BASED UPON VISIBLE STRUCTURES AT THE TIME OF THE FIELD SURVEY. LOCATION OF EXISTING UTILITIES AND SUBSURFACE STRUCTURES, WHETHER OR NOT SHOWN ON THESE PLANS SHALL BE DETERMINED BY THE CONTRACTOR, ADVISED IN THE FIELD, AND REVIEWED BY THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE AWARE OF THE OBLIGATION TO ALL UTILITY COMPANIES AND AGENCY AS WELL AS D.C. SAFE PRACTICE TO EXCAVATION. (SEE NOTE)
- NOTIFICATION REQUIREMENTS SHOWN ON THIS PLAN SHALL NOT RELIEVE THE CONTRACTOR OF ANY OTHER REQUIREMENTS WHICH MAY EXIST UNDER LOCAL, STATE, OR FEDERAL JURISDICTION TO WHICH THE CONTRACTOR IS OBLIGATED.
- RELOCATION OF AND/OR CONNECTION TO EXISTING UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY.
- UNLESS OTHERWISE SPECIFIED, ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF WORCESTER AND THE MASS DOT SPECIFICATIONS OF HIGHWAYS AND BRIDGES.
- ALL SIGNS UNLESS OTHERWISE SPECIFIED, SHALL BE LOADED AND SECEDED FOR STABILIZATION.
- ANY DEVIATIONS IN DESIGN AS SHOWN SHALL REQUIRE A REVIEW AND APPROVAL OF THE DESIGN ENGINEER OR FIRM. CHANGES MADE IN THE FIELD WITHOUT AUTHORIZATION SHALL BE SUBJECT TO REVIEW BY THE ENGINEER AND APPROPRIATE AUTHORITY. ANY CHANGES REQUIRED TO BRING THE UNAUTHORIZED CHANGES TO ACCEPTABLE PERFORMANCE SHALL BE DONE BY THE COMPANY OR CONTRACTOR MAKING THE UNAUTHORIZED CHANGE.
- ANY MATERIALS DISCOVERED ON-SITE WHICH ARE NOT SUITABLE FOR USE IN THE PROJECT AS SHOWN ON THIS PLAN SHALL BE REMOVED AND Hauled OFF-SITE TO AN APPROPRIATELY LICENSED FACILITY.
- PLANS TO BE REVIEWED BY APPLICABLE UTILITY AGENCIES FOR COMPLIANCE WITH REGULATIONS. FINAL LOCATION IS SUBJECT TO CHANGE.
- APPLICANT SHOULD BE AWARE OF OBLIGATIONS TO COMPLY WITH CHAPTER 131, SECTION 40 OF THE MASSACHUSETTS GENERAL LAWS, OTHERWISE KNOWN AS THE WETLANDS PROTECTION ACT, AND THE ASSOCIATED REGULATIONS (310 CMR 10.00).
- AREAS OF FILL TO BE COMPACTED TO A MINIMUM 95% DRY DENSITY IN AREAS WITHIN HIGHWAYS AND UTILITY EASEMENTS. OTHER AREAS OF FILL TO BE COMPACTED TO A MINIMUM 90% DRY DENSITY. ALL FILL MATERIALS ARE TO BE CLEAN AND FREE OF SOIL, ROCKS, WASTE, AND DEBRIS.
- ALL SIDEWALKS AND RAMPS TO CONFORM TO REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AS REQUIRED. SEE ARCHITECTURAL PLANS FOR COMPATIBLE REQUIREMENTS FOR WHEELCHAIR SURFACES.
- THE AREA PROPOSED FOR DEVELOPMENT IS NOT WITHIN A 100 YEAR FLOOD PLAIN PER F.E.M.A. FIRM PANEL #25027C-0616 E. DATED JULY 4, 2011. COMPLIANCE WITH APPLICABLE REGULATIONS IS REQUIRED.
- ALL REINFORCED CONCRETE PIPE TO BE CLASS 4 UNLESS OTHERWISE NOTED.
- PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL UTILITIES ARE TO BE INSTALLED BY A LICENSED UTILITY CONTRACTOR LICENSED BY THE CITY OF WORCESTER.

PARKING CALCULATION:

MULTI-FAMILY RESIDENTIAL CCOD-E DISTRICT
PER TOWNING ORDINANCE
 1 SPACE PER UNIT
 364 UNITS X 1 SPACE = 364 SPACES

1 SPACE PER 10 UNITS (GUEST)
 364 UNITS / 10 UNITS = 36.4 SPACES

TOTAL SPACES REQUIRED = 401 SPACES REQUIRED

TOTAL PROVIDED
 TOTAL SURFACE PARKING = 392

NETAL SPACES PROVIDED = 392 SPACES

BICYCLE SPACE RETENTION
 EXTERIOR PROVIDED BICYCLE SPACES = 24 SPACES
 REDUCTION ALLOWED = 24 SPACES / 2 = 12 SPACES
 REDUCTION ALLOWED = 10 SPACES (10 SPACES MAX)

CUMULATIVE PARKING COUNT
 VEHICLE PARKING = 392 SPACES
 BICYCLE REDUCED SPACES = 10 SPACES
TOTAL PARKING PROVIDED = 402 SPACES

COMPACT SPARKING SPACE CALCULATION
 392 SPACES X 25% = 98 SPACES BY RIGHT
 97 SPACES PROVIDED (24.7% COMPACT)

MISCELLANEOUS PARKING COUNT:
 70 ELECTRIC VEHICLE CAPABLE SPACES
 9 HANDICAP ACCESSIBLE PARKING SPACES
 4 LOADING SPACES

APPLICANT:
 GOVENTURE CAPITAL GROUP, LLC
 10 E. WORCESTER STREET, SUITE 3A
 WORCESTER, MASSACHUSETTS 01605

LANDSCAPING NOTES:

- LANDSCAPING OF AREAS SHOULD OCCUR AS SOON AS POSSIBLE.
- IF THE SEASON OR ADVERSE WEATHER CONDITIONS DO NOT PERMIT THE ESTABLISHMENT OF VEGETATION, TEMPORARY HAY MULCH, OR OTHER MEANS OF STABILIZATION SHALL BE PERFORMED.
- THE USE OF HERBICIDES MAY BE SUBJECT TO LOCAL OR STATE REGULATIONS.
- CARE SHOULD BE TAKEN WITH FERTILIZERS SUCH THAT THEY ARE NOT CARRIED TO A WETLAND OR SENSITIVE AREA.
- REFERENCE IS MADE TO THE LANDSCAPE PLANS AS PREPARED BY EARTH-DESIGN LANDSCAPE ARCHITECTURE.

DEFINITIVE SITE PLAN

NO.	DATE	REVISIONS	BY
10	12/22/2023	PERMITTING/CITY COMMENT	CMA
9	11/1/2023	PERMITTING/CITY COMMENT	CMA
8	9/23/2023	LAYOUT REVISIONS	CMA
7	6/7/2023	LAYOUT REVISIONS	CMA
6	5/4/2023	LAYOUT REVISIONS	CMA

HANNIGAN ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS

R. HANNIGAN, ENGINEER
 LEONHART, MASSACHUSETTS 01463
 978.734.1514 EXT. 1
 978.734.6543 FAX

LAYOUT PLAN
 IN
WORCESTER, MASSACHUSETTS

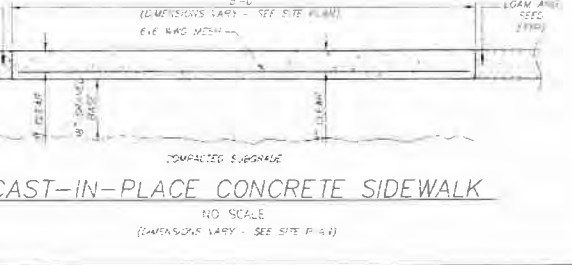
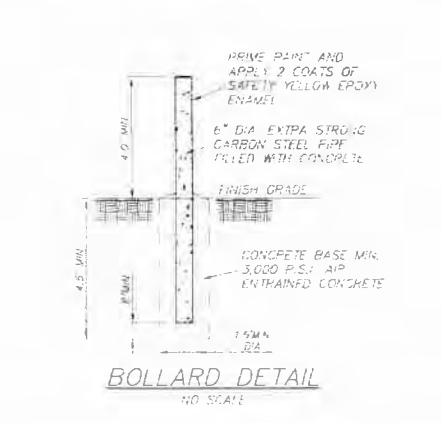
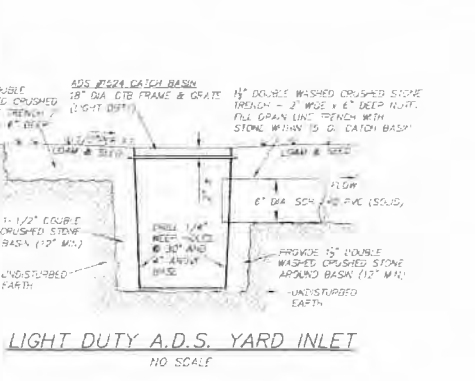
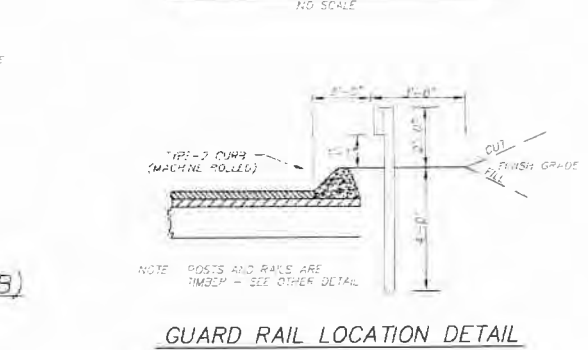
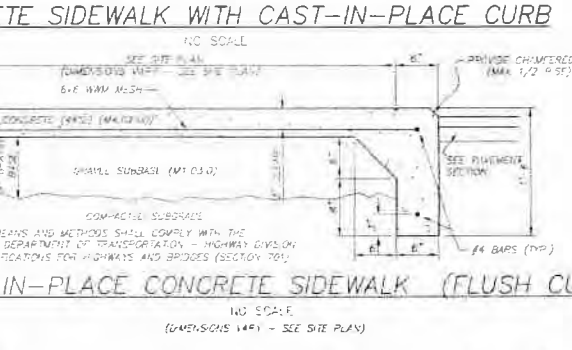
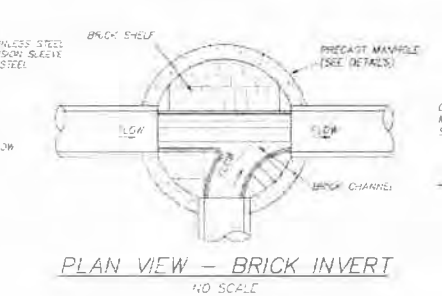
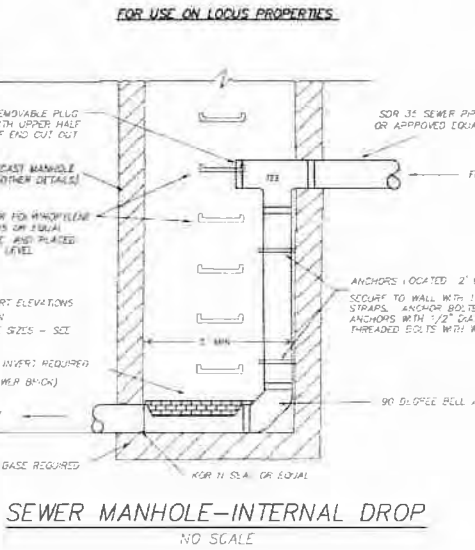
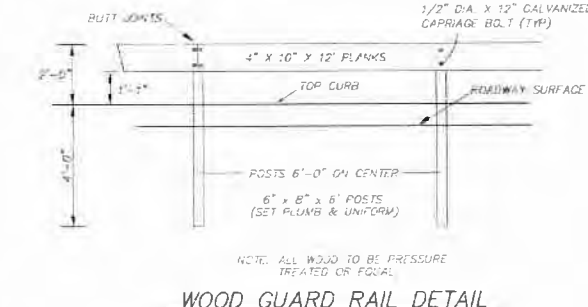
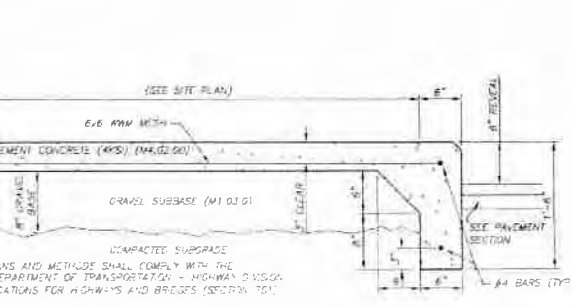
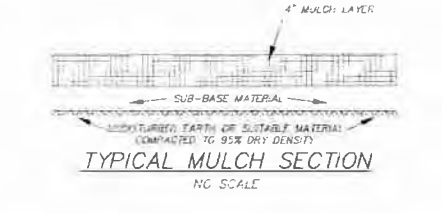
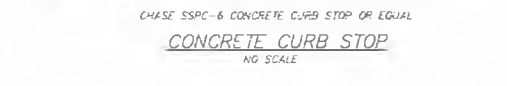
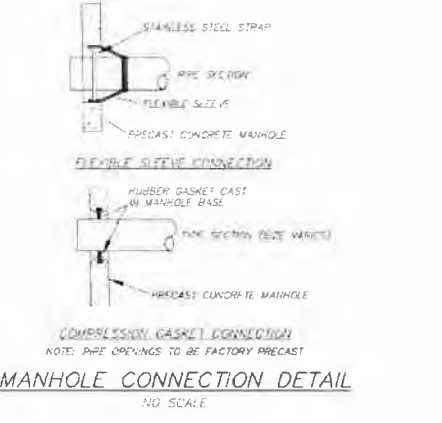
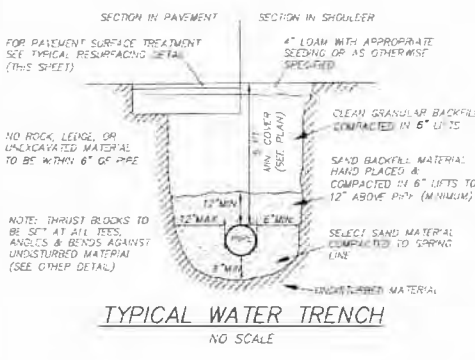
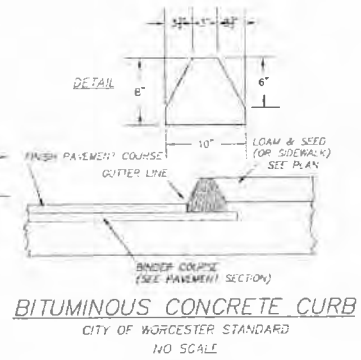
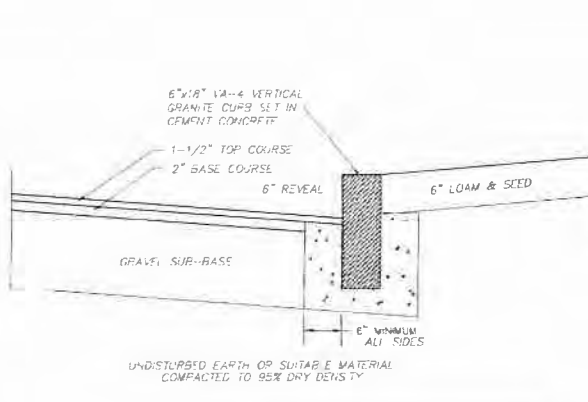
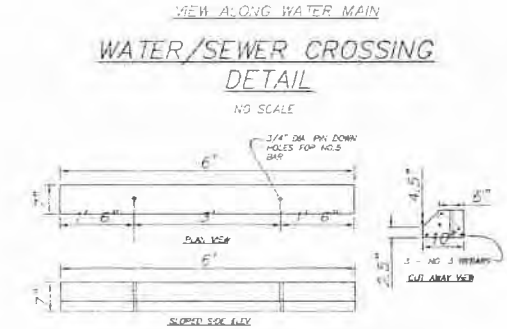
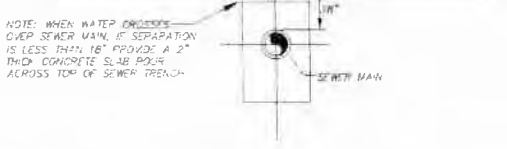
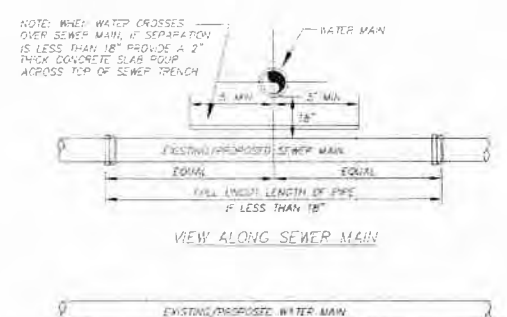
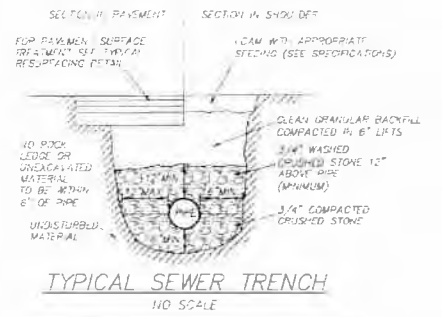
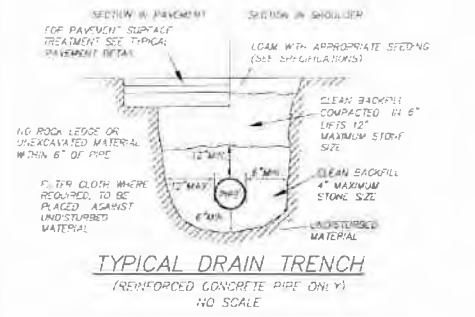
PREPARED FOR:
 GOVENTURE CAPITAL GROUP, LLC
 BRENDAN GOVE
 10 E. WORCESTER ST
 WORCESTER, MASSACHUSETTS 01604
 TEL:

GRAPHIC SCALE: 1"=40'

CALC: CMA/WJH	DRWN: CMA/WJH	SCALE: 1"=40'
CHKD: WJH	APPD: WJH	DATE: NOV 12, 2023
SRV: JHG	FB: 71-144	JOB NO: 1030
TAB: (6) LL	SHEET 5 OF 13	PLAN NO: C-16-9



NOTE ALL CONSTRUCTION DETAILS, MEANS AND METHODS SHALL CONFORM TO THE CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS CONSTRUCTION SPECIFICATIONS AS WELL AS MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES STANDARDS



DEFINITIVE PLAN

NO.	DATE	REVISIONS	BY
10	2/22/2023	PERMITTING/CITY COMMENT	CMA
9	11/1/2023	PERMITTING/CITY COMMENT	CMA
8	6/22/2023	LAYOUT REVISIONS	CMA
7	6/7/2023	LAYOUT REVISIONS	CMA
6	5/4/2023	LAYOUT REVISIONS	CMA

HANNIGAN ENGINEERING, INC.
 CIVIL ENGINEERS AND SURVEYORS

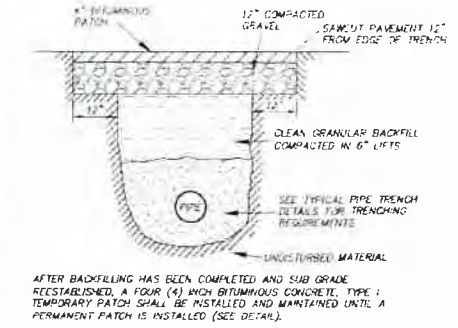
100 HANNIGAN DRIVE
 LEAMINGTON, MASSACHUSETTS 01539
 TEL: 508-538-1100
 WWW.HANNIGAN-ENG.COM

**CONSTRUCTION DETAILS
 IN
 WORCESTER, MASSACHUSETTS**

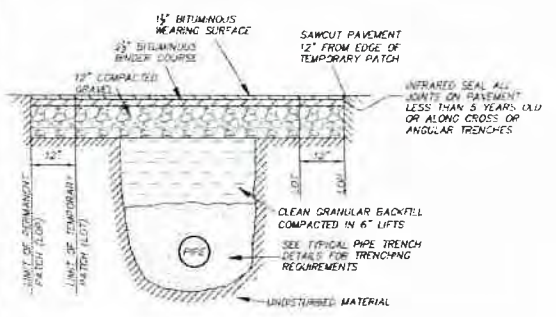
PREPARED FOR:
 GOVATURE CAPITAL GROUP, LLC
 BRENDAN GOVE
 10 E. WORCESTER STREET, SUITE 3A
 WORCESTER, MASSACHUSETTS 01605
 TEL:

CALC:	CHKD:	SRV:	TAB:	DRWN:	APPD:	FB:	SHEET	SCALE:
CMA/WDH	WDH	NA	(8-14) DET	CMA/WDH	WDH	NA	9 OF 14	1/4"

APPLICANT:
 GOVATURE CAPITAL GROUP, LLC
 10 E. WORCESTER STREET, SUITE 3A
 WORCESTER, MASSACHUSETTS 01605

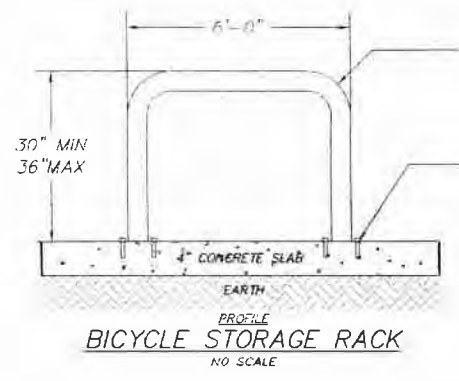
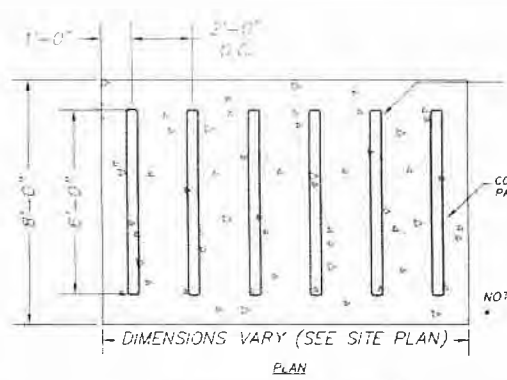


TEMPORARY PATCH DETAIL
NO SCALE



PERMANENT PATCH DETAIL
NO SCALE

- TRENCH PATCHING NOTES:**
- UPON COMPLETION OF THE TRENCH/UTILITY INSTALLATION WORK, AND ONLY AFTER REQUIRED BACKFILLING AND COMPACTION HAS BEEN ACHIEVED, SHALL ROAD PATCHING OPERATIONS BEGIN. NO EVENT SHALL OPENINGS BE ALLOWED TO BE LEFT UN-PATCHED FOR MORE THAN FORTY-EIGHT (48) HOURS WITHOUT WRITTEN APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS (DPW).
 - ALL ROAD PATCHES SHALL BE PLACED PERPENDICULAR OR PARALLEL TO TRAFFIC FLOW. ANGULAR PATCHES ACROSS THE ROADWAY SHALL NOT BE PERMITTED WITHOUT DWP APPROVAL. ALL TRENCHES SHALL BE SAW-CUT TO PROVIDE A VERTICAL JOINT FOR PATCHING.
 - HOT PATCH SHALL BE USED AT ALL TIMES EXCEPT WHEN SEASONAL CONDITIONS WARRANT THE USE OF A TEMPORARY COLD PATCH.
 - IF A TEMPORARY PATCH IS USED THE DPW SHALL BE NOTIFIED AS TO WHEN A PERMANENT PATCH IS TO BE PLACED. THE CONTRACTOR IS RESPONSIBLE UNTIL THE PERMANENT PATCH IS IN PLACE.
 - TEMPORARY PATCHES SHALL BE MAINTAINED BY THE CONTRACTOR THROUGH ONE WINTER-SPRING SEASON. PERMANENT PATCHING WILL BE REQUIRED ON ALL TRENCHES AND SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR.
 - PERMANENT PATCHES IN A HEAVILY TRAVELED AREA AS DETERMINED BY THE DPW SHALL BE REINFORCED WITH A CONCRETE SLAB NO LESS THAN FIVE (5) INCHES THICK. CONSTRUCTION SHALL COMPLY WITH SECTION 400 OF THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
 - TEMPORARY AND PERMANENT PATCHES SHALL BE NO LESS THAN FOUR (4) INCHES THICK OR THE THICKNESS OF THE EXISTING PAVEMENT, WHICHEVER IS GREATER.
 - TEMPORARY AND PERMANENT PATCHES SHALL BE ROLLED AND COMPACTED TO MATCH THE EXISTING SURFACE IN A GOOD WORKMANLIKE MANNER AND ALL ADJUTING SURFACES SEALED.
 - PERMANENT PATCHES WILL BE MAINTAINED BY THE CONTRACTOR FOR A PERIOD OF NINETY (90) DAYS AT WHICH TIME THE PATCH WILL BE FINALIZED BY THE INCREASED METHOD OF PATCHING. NO INCREASED PATCHING WILL BE REQUIRED ON ANY PAVEMENT THAT IS FIVE (5) YEARS OLD OR GREATER.
 - ALL MATERIALS AND CONSTRUCTION METHODS MUST MEET THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
 - THE REPAINTING OF TRAFFIC LINES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE TOWN SHALL BE NOTIFIED PRIOR TO THE PAINTING OF ANY NEW TRAFFIC MARKINGS.
 - THE CONTRACTOR SHOULD EXERCISE EXTREME CARE TO PREVENT THE DAMAGE TO MAJOR ROOT SYSTEMS OF TREES.
 - WHERE MANHOLES ARE TO BE PLACED IN THE HARDENED SURFACE, ALL MANHOLE COVERS SHALL BE SET IN CONCRETE COLLARS TO WITHIN FOUR (4) INCHES OF THE EXISTING SURFACE. A PATCH OF CLASS 1 BITUMINOUS PAVEMENT TYPE 1 SHALL BE PLACED OVER THE CONCRETE COLLAR TO A LEVEL WITH THE PAVEMENT GRADE WHEN SATISFACTORILY COMPACTED.
 - WITH THE EXCEPTION OF EMERGENCY WORK, NO EXCAVATION SHALL BE PERMITTED FROM DECEMBER 1 TO APRIL 1 WORK WITHIN THIS PERIOD MAY BE ALLOWED AT THE DISCRETION OF THE TOWN.

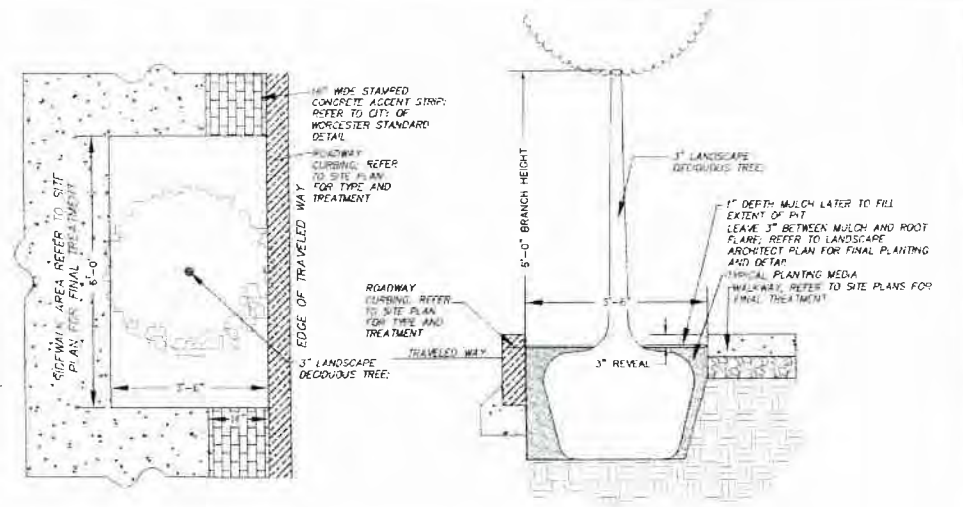


BICYCLE STORAGE RACK
NO SCALE

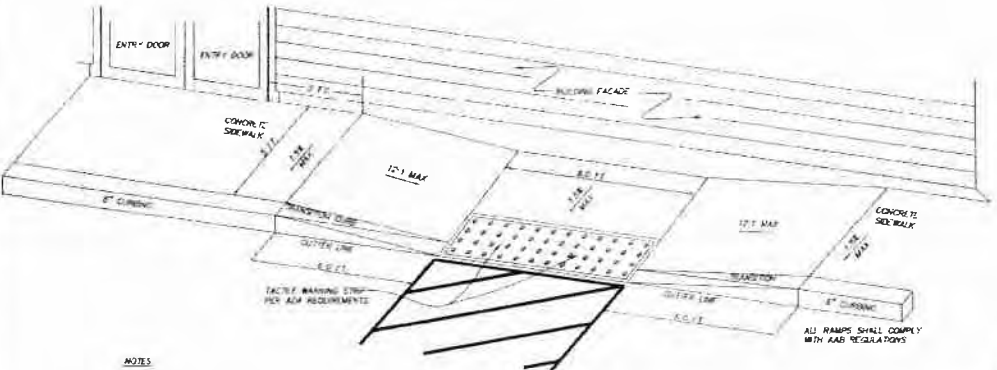
1-1/2" O.D. SCHEDULE 40 STAINLESS STEEL INVERTED "U" BUMPER, SET BUMPER 1'-0" CLEAR OF PAD FASCIA

CONCRETE PAD

NOTE: SIZE AND CONFIGURATION OF BICYCLE STORAGE RACK DEPICTED IN A GENERAL MANNER. FINAL SIZE AND MATERIAL TO BE BASED ON MANUFACTURER SPECIFICATIONS.

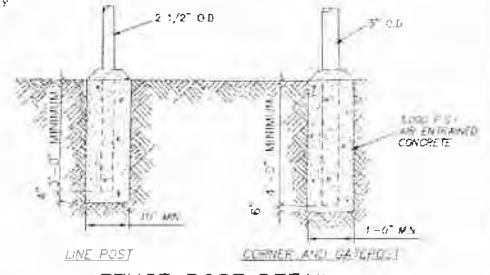


STREET TREE PLANTING DETAIL
NO SCALE

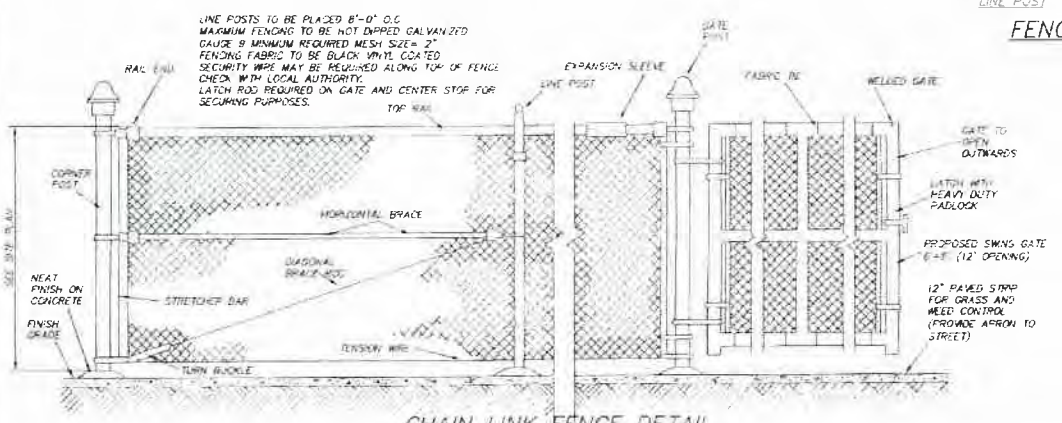


ACCESSIBLE ENTRY DETAIL
NO SCALE

- NOTES:**
- THE DIMENSIONS SHOWN AT RAMPING EDGE ARE FIXED DISTANCES.
 - RAMP SECTION AND MATERIALS TO BE CONSTRUCTED IN ACCORDANCE TO CONCRETE SIDEWALK DETAIL.
 - PORSLANE CONCRETE RAMP ARE TO BE TEXTURED BY BRUSHING IN A DIRECTION PARALLEL TO THE LENGTH OF THE RAMP.
 - CURB STOPS REQUIRED AT TRANSITION CURBING.
 - SEE ARCHITECTURAL PLANS FOR SPECIFIC BUILDING REQUIREMENTS.



FENCE POST DETAIL
NO SCALE



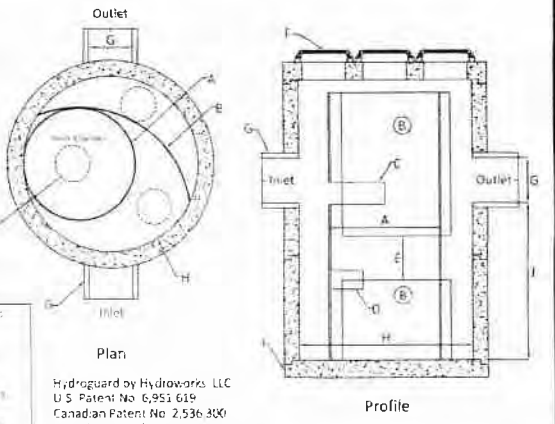
CHAIN LINK FENCE DETAIL
NO SCALE

LINE POSTS TO BE PLACED 6'-0" O.C. MAXIMUM FENCING TO BE NOT DIPPED GALVANIZED GAUGE 9 MINIMUM REQUIRED MESH SIZE: 2" FENCING FABRIC TO BE BLACK VINYL COATED SECURITY WIRE MAY BE REQUIRED ALONG TOP OF FENCE. CHECK WITH LOCAL AUTHORITY. LATCH ROD REQUIRED ON GATE AND CENTER STOP FOR SECURING PURPOSES.

- Specifications:**
- Any alternate equal must be independently tested to the 2002 NDEP Laboratory Separator Protocol. Separator must be sized based on this data.
 - Alternate equal must be NETE Certified Master Plumber, Massachusetts Plumbing Board approved and ConnDOT approved.
 - Any testing performed by the manufacturer and/or field testing is unacceptable to determine an alternate equal.
 - Grain sampling has been deemed inaccurate by multiple independent agencies. Only mass balance testing will be accepted to verify an alternate equal.
 - The separator must be designed based on the following criteria:

Flow Criteria	
Water Quality Flow Rate (cfs)	
Peak Design Flow Rate (cfs)	

TSS Removal Criteria	
Annual TSS Removal (MT)	
NIDEITY Canada TSS	
OK10 S&W	
City of Worcester	
Other:	



Hydroguard by Hydroworks LLC
U.S. Patent No. 6,951,619
Canadian Patent No. 2,536,350
www.hydroworks.com
888-290-7900

- Notes:**
- Headloss factor of 1.4 for hydraulic grade line calculations.
 - Stump depths shown are typical. Additional depth can be added as required.
 - Drops greater than 4' allowed with custom strength attachment.
 - Inlet inverts elevations should be the same or higher than the outlet invert elevation.
 - Scum Cover shown. Hydroguard can be covered with an inlet grate if required.
 - DOT capacities given are scum capacities.
 - Settlement depths are maximum holding capacities and not recommended capacities for regular maintenance.
 - Capacities are rounded down to nearest 5 gal or 19.1 L or 0.1 m³ for metric units.
 - Basic Extensions are not provided. US Standard units larger than the H6-E Extension can be provided if required due to ground water/basinsy concerns at the request of the engineer of record.
 - H64 model requires one cover. H65 and H66 models require two covers. H67 to H617 models require three covers.

Hydroguard Dimensions / Capacities						
Model	Length	Width	Depth	Capacity (US Gallons)	Capacity (Liters)	Max. Capacity (US Gallons)
H6-9	4'10"	5'4"	17"	21,535	81,748	35,109
H6-5	5'4"	5'5"	17"	24,160	91,232	55,151
H6-8	11'10"	5'5"	17"	30,760	116,173	85,174
H6-9	7'12"	6'5"	17"	36,795	139,173	118,187
H6-C	8'12"	7'12"	17"	42,106	159,173	145,181
H6-10	10'12"	8'12"	17"	54,137	204,173	173,190
H6-12	12'12"	10'12"	17"	60,152	226,173	188,194

Hydroworks Hydroguard

PROJECT: _____

LOCATION: _____

REVISION DATE: 08/05/2020

APPLICANT:
GOVENTURE CAPITAL GROUP, LLC
10 E. WORCESTER STREET, SUITE 3A
WORCESTER, MASSACHUSETTS 01605

NOTE ALL CONSTRUCTION DETAILS, MEANS AND METHODS SHALL CONFORM TO THE CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS CONSTRUCTION SPECIFICATIONS AS WELL AS MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES STANDARDS.

DEFINITIVE PLAN

NO.	DATE	REVISIONS	BY
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6	5/4/2023	LAYOUT REVISIONS	CMA

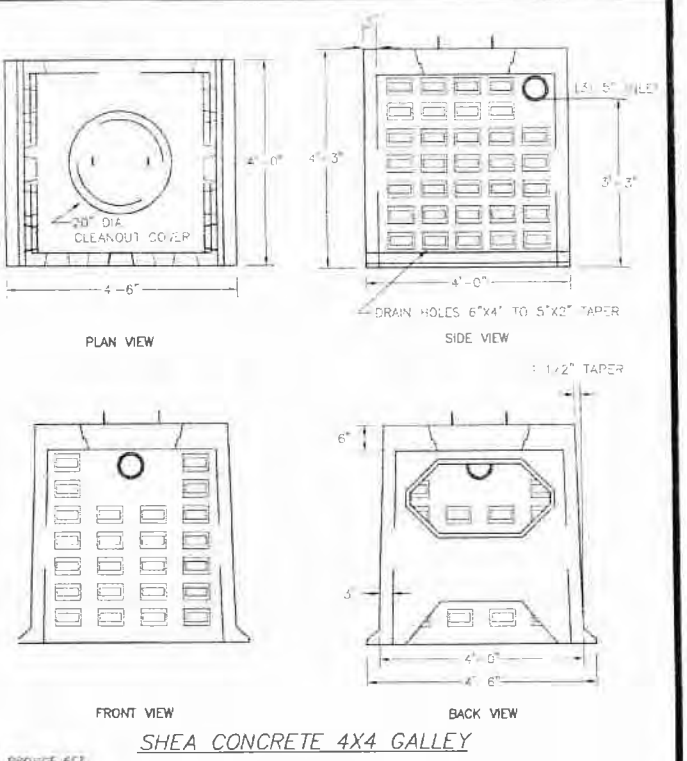
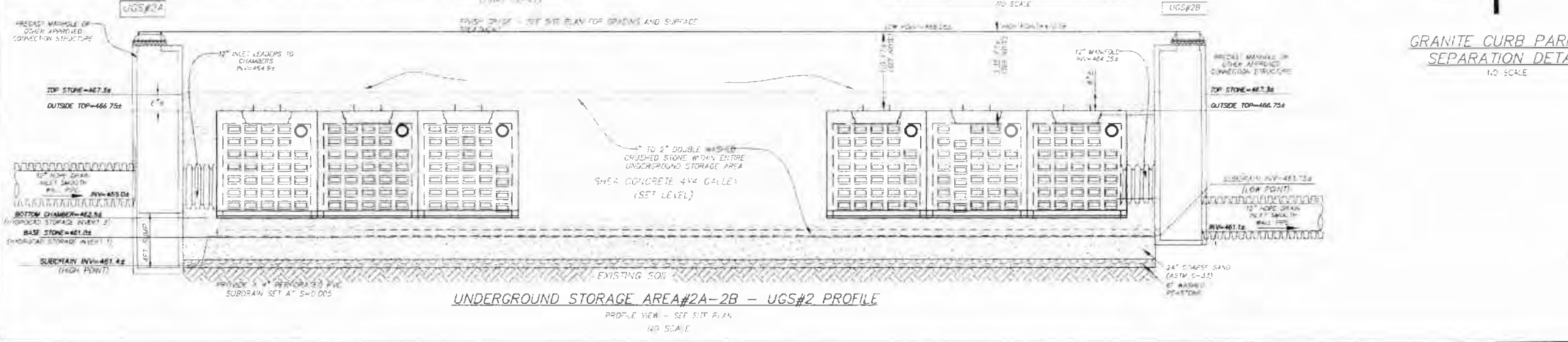
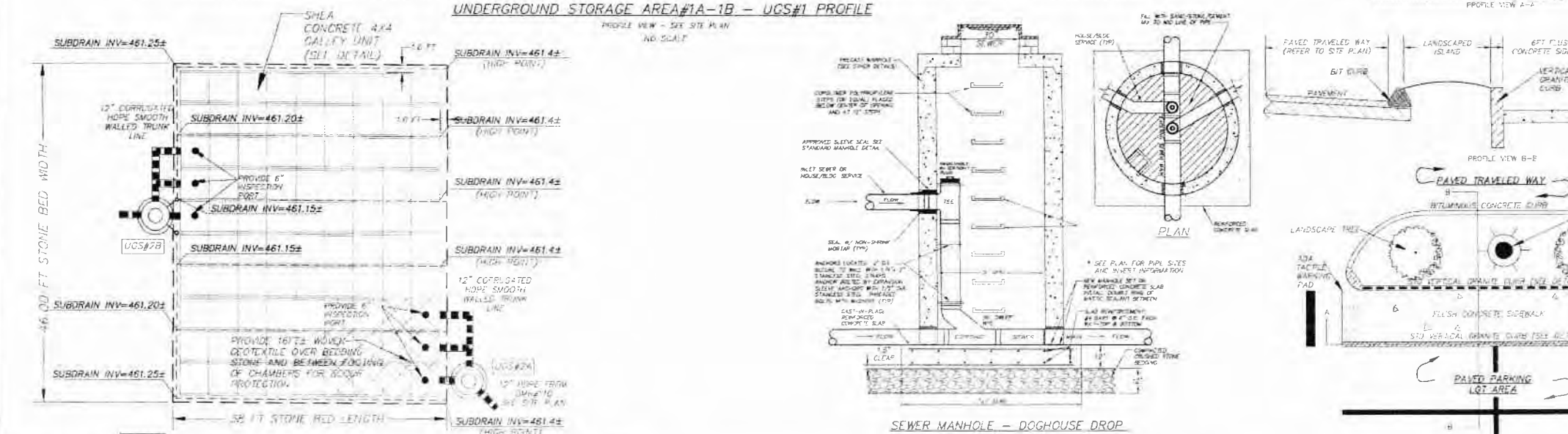
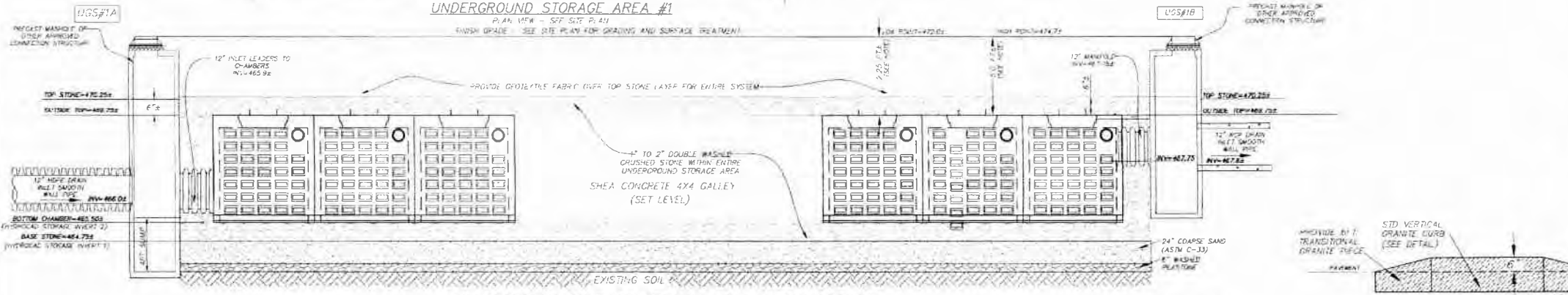
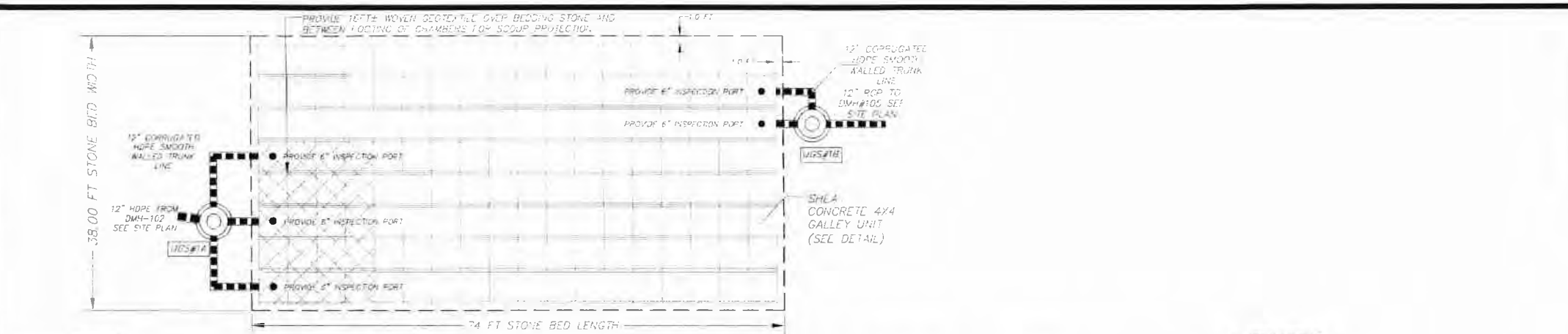
HANNIGAN ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS

11 MAY 2023 10:58 AM
12-22-2023

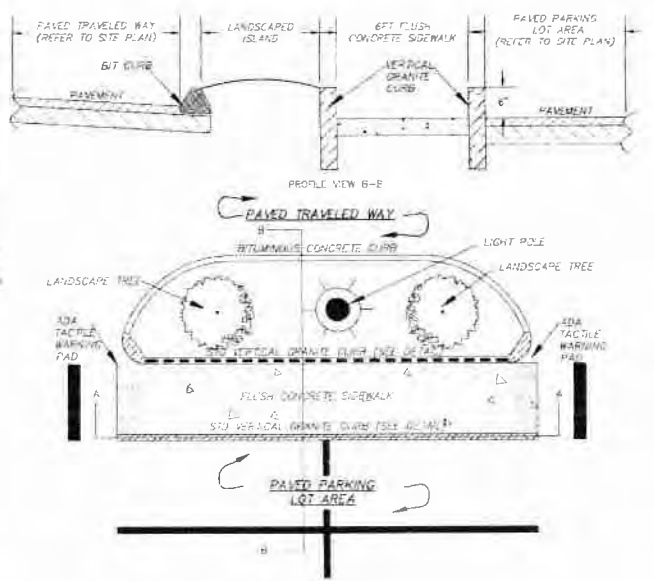
CONSTRUCTION DETAILS
IN
WORCESTER, MASSACHUSETTS

PREPARED FOR:
GOVENTURE CAPITAL GROUP, LLC
BRENDAN GOVE
10 E. WORCESTER STREET, SUITE 3A
WORCESTER, MASSACHUSETTS 01605
TEL: _____

CALC: CMA/WCH	DRWN: CMA/WCH	SCALE: NA
CHKD: WCH	APPD: WCH	DATE: NOV 12, 2021
SRV: NA	FB: NA	JOB NO: 3020
TAB: (8-14) DET	SHEET 10 OF 14	PLAN NO: C-18-9



SHEA CONCRETE 4x4 GALLEY
PER MANUFACTURER
NO SCALE



GRANITE CURB PARKING SEPARATION DETAIL
NO SCALE

DEFINITIVE PLAN

NO.	DATE	REVISIONS	BY
10	9/22/2023	PERMITTING/CITY COMMENT	CMA
9	11/1/2023	PERMITTING/CITY COMMENT	CMA
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7	7/7/2023	LAYOUT REVISIONS	CMA
6	5/4/2023	LAYOUT REVISIONS	CMA
		REVISIONS	BY



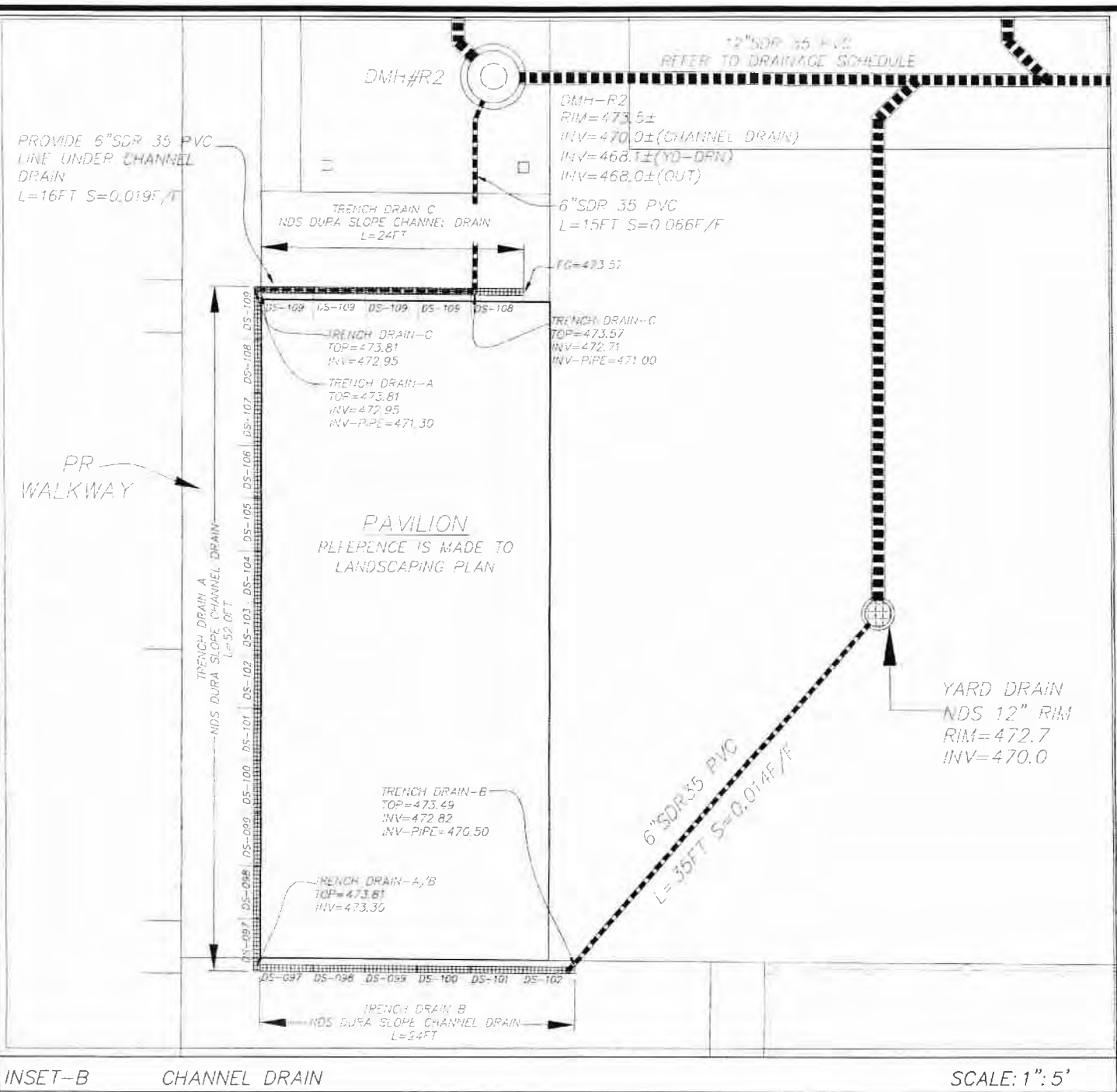
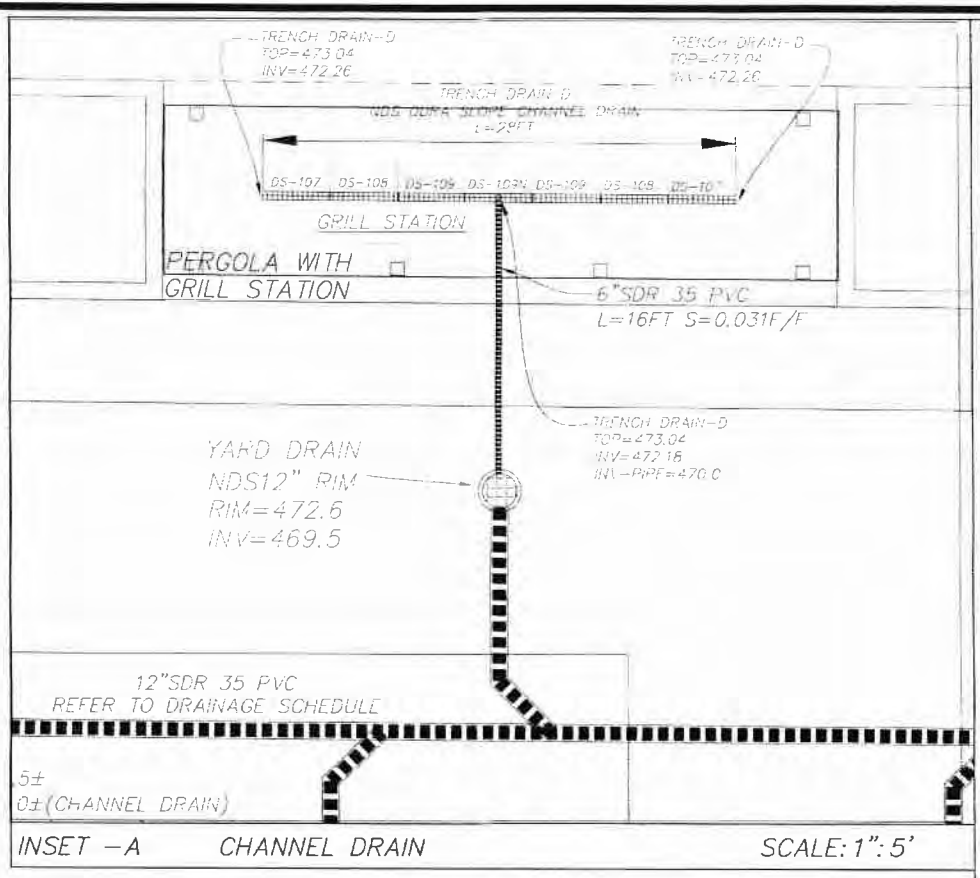
HANNIGAN ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS

CONSTRUCTION DETAILS IN WORCESTER, MASSACHUSETTS

PREPARED FOR:
COVENTURE CAPITAL GROUP, LLC
BRENDAN GOVE
10 E. WORCESTER STREET, SUITE 3A
WORCESTER, MASSACHUSETTS 01605
TEL:

CALC: CMA/WCH	DRWN: CMA/WCH	SCALE: 1/4"
CHKD: WCH	APPD: WCH	DATE: NOV 12, 2023
SRV: NA	FB: NA	JOB NO: 2030
TAB: (5-14) DET	SHEET 11 OF 14	PLAN NO: C-18-9

APPLICANT:
COVENTURE CAPITAL GROUP, LLC
10 E. WORCESTER STREET, SUITE 3A
WORCESTER, MASSACHUSETTS 01605



NDS, INC.
851 NORTH HARVARD AVE
LINDSAY, CA 95247
TOLL FREE: 1-800-726-1994
PHONE: (559) 562-9888
FAX: (559) 562-4488
www.ndspro.com

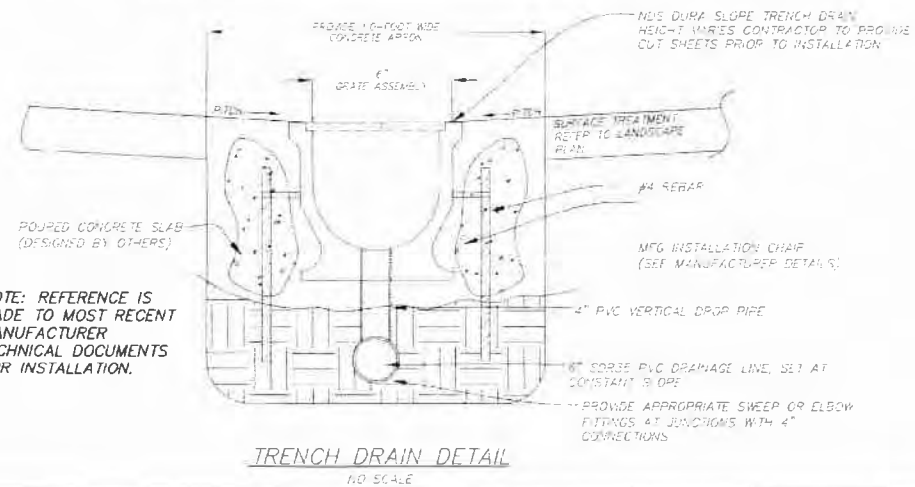
WE PUT WATER IN ITS PLACE

SECTION

NOTES:
1. CHANNELS TO BE INSTALLED WITH BLANK GRATE. GRATE TO BE PROTECTED FROM CONCRETE POUR (COVER HOLES WITH TAPE)
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
3. DO NOT SCALE DRAWING
4. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY
5. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT. YOU MUST BE KEENLY AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE

DURA SLOPE TRENCH DRAIN SYSTEM
DURA SLOPE INSTALLATION DETAIL - CLASSIC ENCASMENT REBAR SUSPENSION METHOD

REVISION DATE 3/9/2015



DEFINITIVE PLAN

NO.	DATE	REVISIONS	BY
10	12/21/2023	PERMITTING/CITY COMMENT	CMA
9	11/21/2023	PERMITTING/CITY COMMENT	CMA
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7	6/7/2023	LAYOUT REVISIONS	CMA
6	5/14/2023	LAYOUT REVISIONS	CMA

HANNIGAN ENGINEERING, INC.
CIVIL ENGINEERS & LANDSCAPE ARCHITECTS

385 SOUTH MAIN ST., SUITE 200
LANSING, MI 48906
WWW.HANNIGANENGINEERING.COM

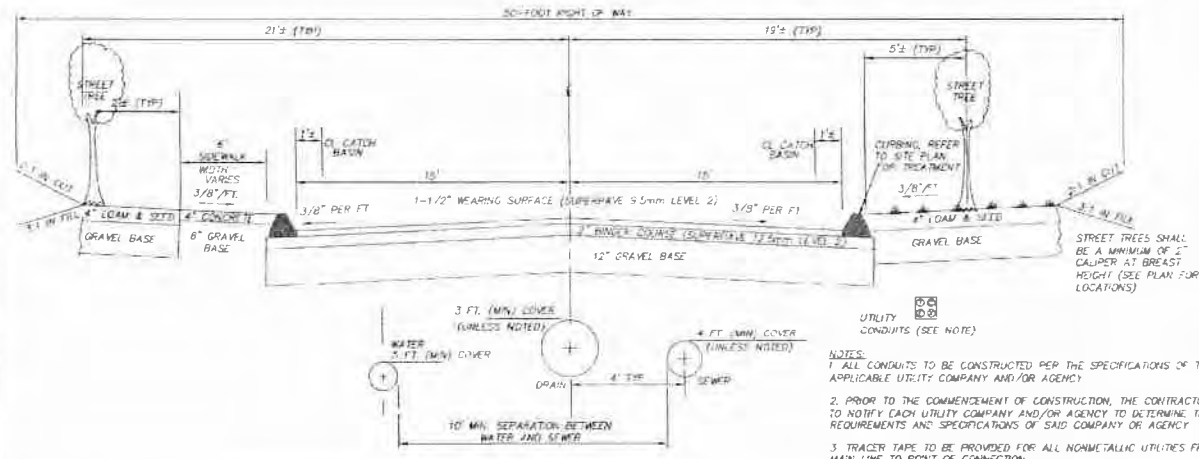
CONSTRUCTION DETAILS
WORCESTER, MASSACHUSETTS

PREPARED FOR:
GOVENTURE CAPITAL GROUP, LLC
BRENDA GAY
16 E. WORCESTER STREET, SUITE 3A
WORCESTER, MASSACHUSETTS 01605
TEL: _____

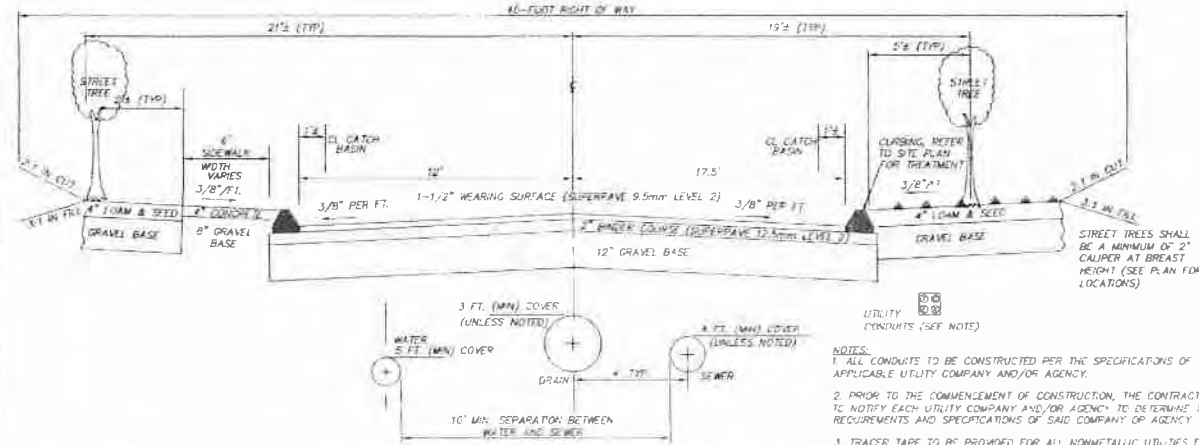
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CMA/WDR	WDR	NA	(8-14) 01	CMA/WDR	WDR	NA	NOV 12, 2024	0535	NO.00-164-9

APPLICANT:
GOVENTURE CAPITAL GROUP, LLC
10 E. WORCESTER STREET, SUITE 3A
WORCESTER, MASSACHUSETTS 01605

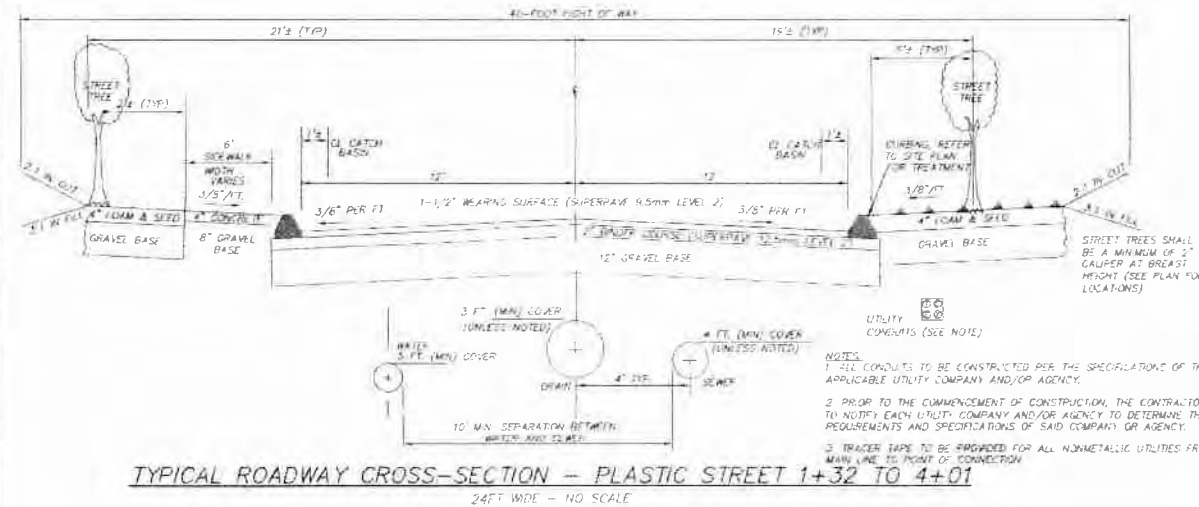
CONSTRUCTION DETAILS FOR USE WITHIN RIGHT OF WAYS



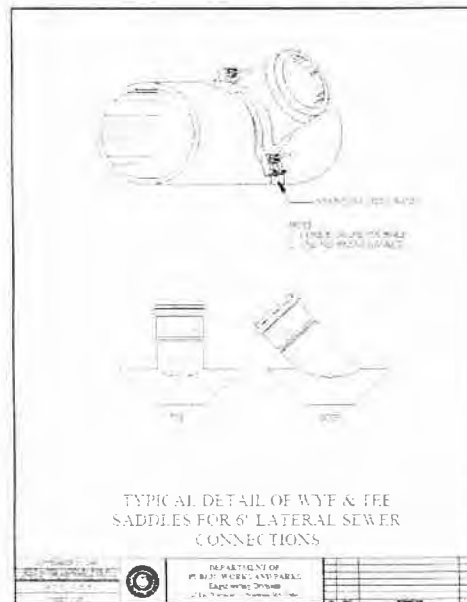
TYPICAL ROADWAY CROSS-SECTION - ARCTIC STREET
30 FT WIDE - NO SCALE



TYPICAL ROADWAY CROSS-SECTION - PLASTIC STREET 0+00 TO 1+32
29.5 FT WIDE - NO SCALE



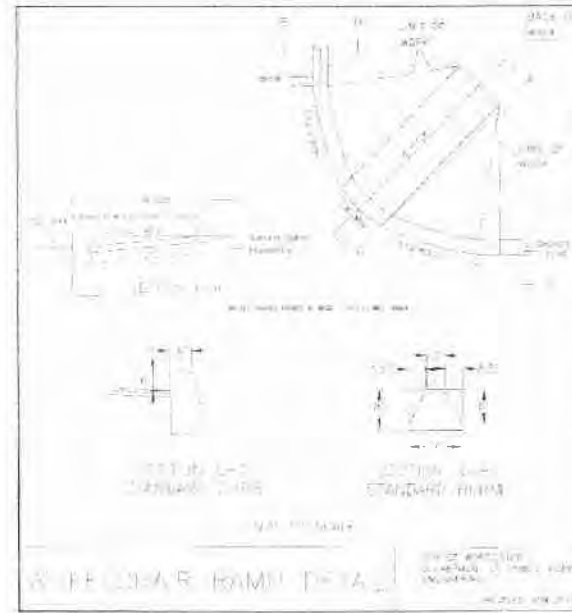
TYPICAL ROADWAY CROSS-SECTION - PLASTIC STREET 1+32 TO 4+01
24 FT WIDE - NO SCALE



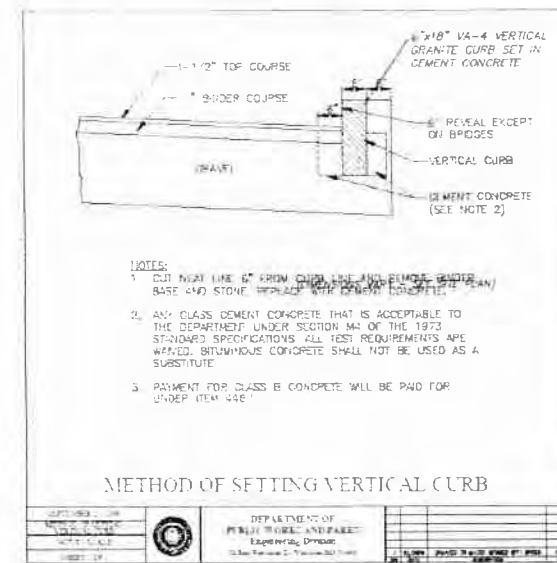
CITY OF WORCESTER WYE SADDLE CONNECTIONS FOR LATERAL SEWER CONNECTIONS DETAIL



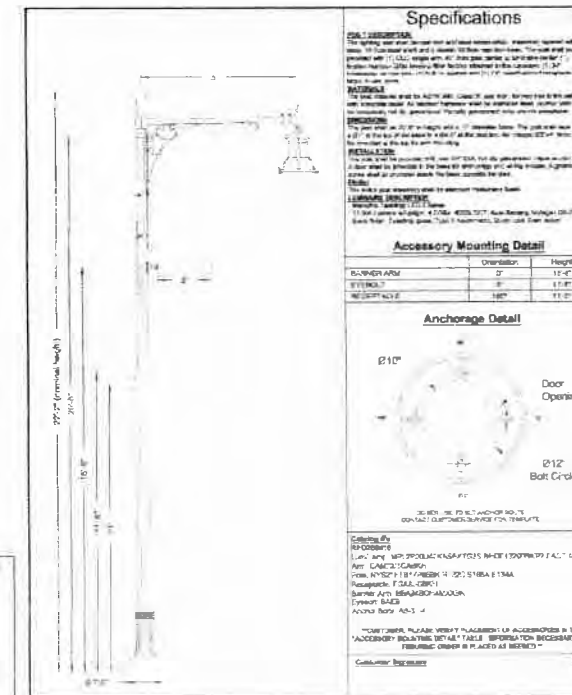
CITY OF WORCESTER TYPICAL STAMPED CONCRETE DETAIL
NO SCALE



CITY OF WORCESTER WHEEL CHAIR RAMP DETAIL
NO SCALE



CITY OF WORCESTER VERTICAL GRANITE CURB DETAIL



CITY OF WORCESTER STREET LIGHTING DETAIL

NOTE ALL CONSTRUCTION DETAILS, MEANS AND METHODS SHALL CONFORM TO THE CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS CONSTRUCTION SPECIFICATIONS AS WELL AS MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES STANDARDS.

DEFINITIVE PLAN

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6	5/4/2023	LAYOUT REVISIONS	CMA



HANNIGAN ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS

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LEDMANFIELD, MASSACHUSETTS 01543
TEL: 508-853-1111

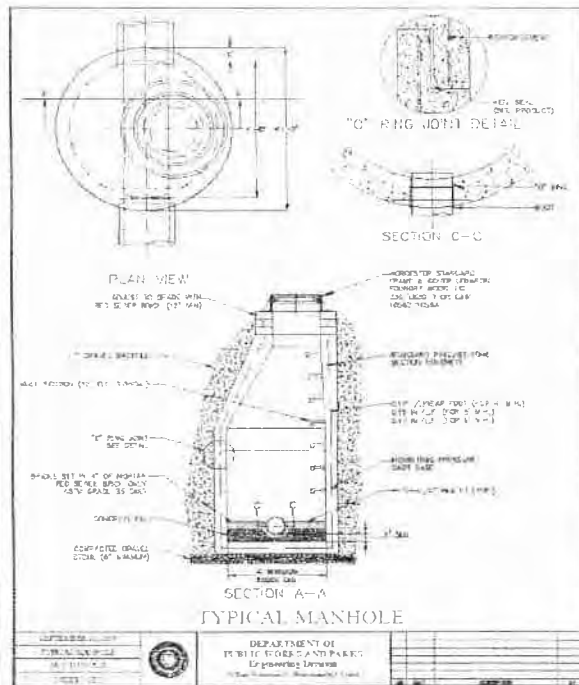
CONSTRUCTION DETAILS
IN
WORCESTER, MASSACHUSETTS

PREPARED FOR:
GOVERNURE CAPITAL GROUP, LLC
BRENDAN GOVE
10 E. WORCESTER STREET, SUITE 3A
WORCESTER, MASSACHUSETTS 01605
TEL:

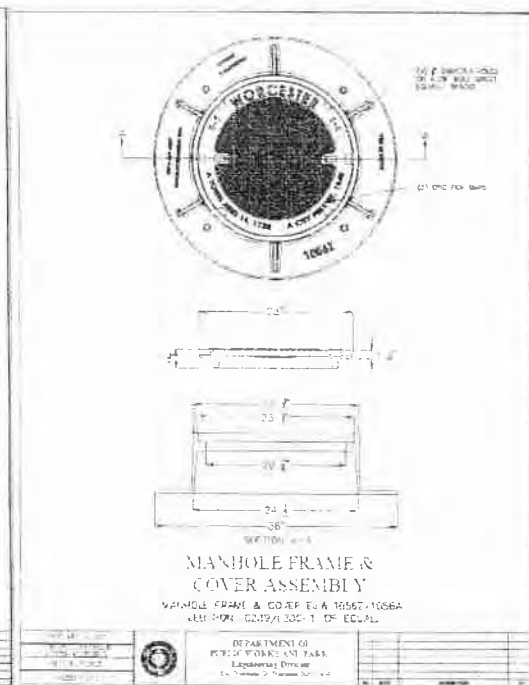
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SRV: NA	FB: NA	JOB NO: 3030
TAB: (B-14) DET	SHEET 13 OF 14	PLAN NO: C-16-9

APPLICANT:
GOVERNURE CAPITAL GROUP, LLC
10 E. WORCESTER STREET, SUITE 3A
WORCESTER, MASSACHUSETTS 01605

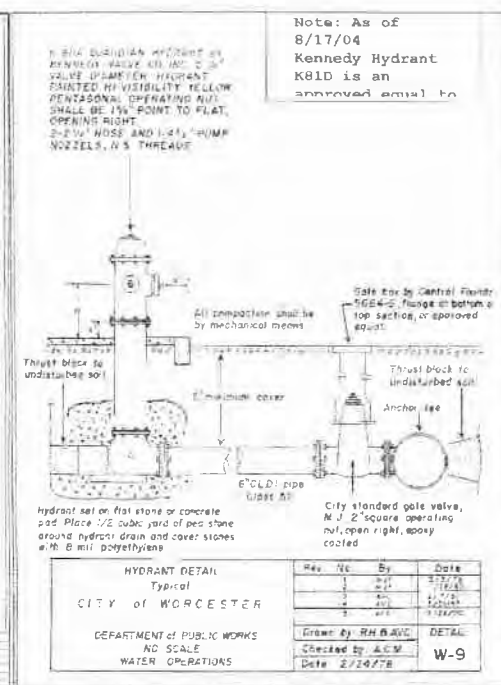
CONSTRUCTION DETAILS FOR USE WITHIN RIGHT OF WAYS



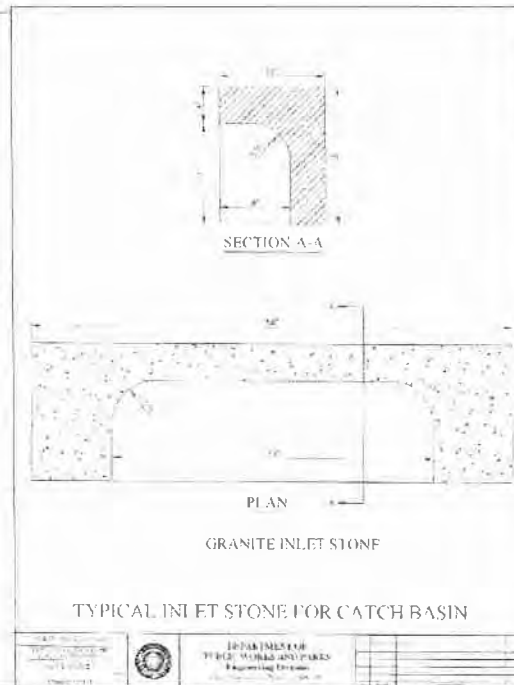
CITY OF WORCESTER TYPICAL MANHOLE DETAIL
NO SCALE



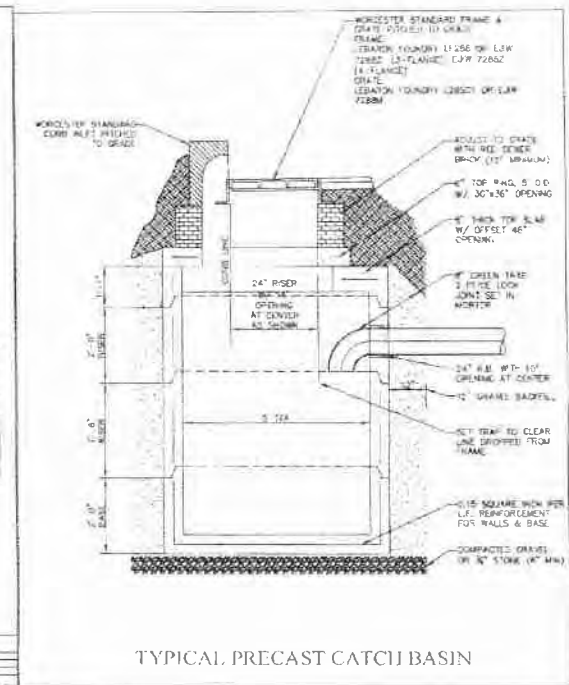
CITY OF WORCESTER TYPICAL MANHOLE FRAME AND COVER DETAIL
NO SCALE



CITY OF WORCESTER TYPICAL HYDRANT DETAIL
NO SCALE



CITY OF WORCESTER TYPICAL CATCH BASIN INLET DETAIL
NO SCALE



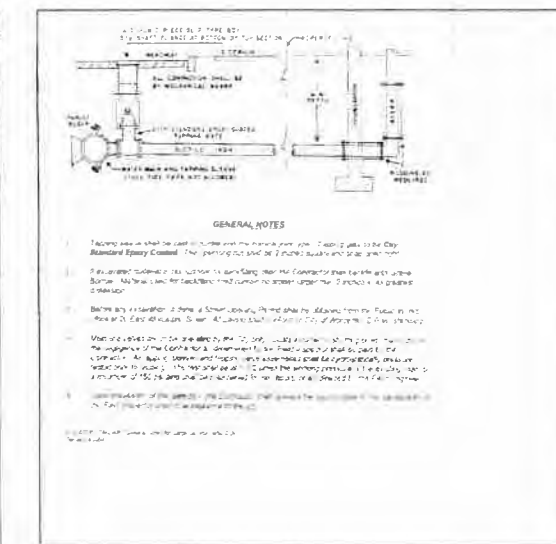
CITY OF WORCESTER TYPICAL PRECAST CATCH BASIN DETAIL
NO SCALE



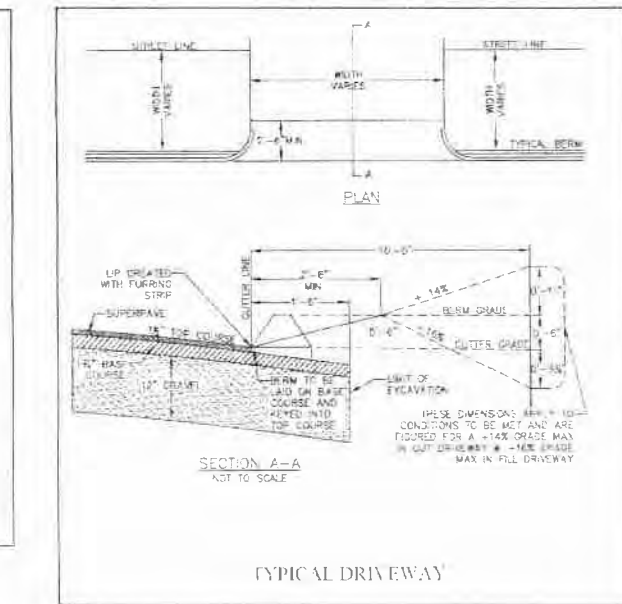
CITY OF WORCESTER TYPICAL CATCHBASIN GRATE DETAIL
NO SCALE



CITY OF WORCESTER TYPICAL CATCHBASIN FRAME DETAIL
NO SCALE

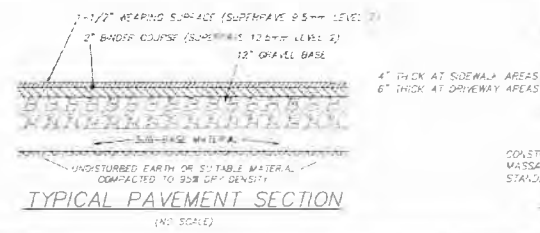


CITY OF WORCESTER TYPICAL WATER SERVICE DETAIL

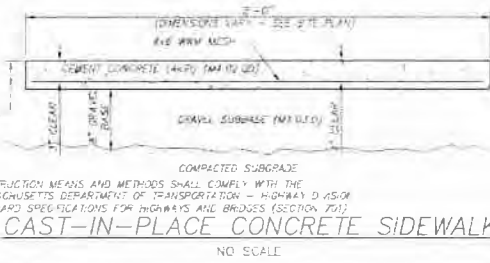


CITY OF WORCESTER TYPICAL DRIVEWAY DETAIL

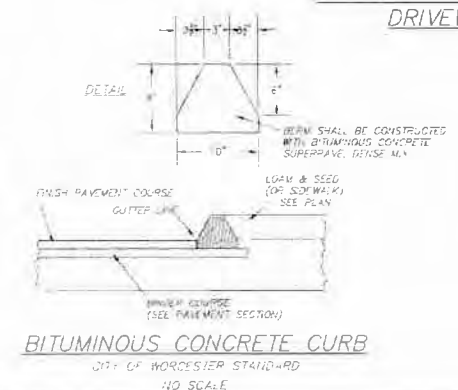
NOTE ALL CONSTRUCTION DETAILS, MEANS AND METHODS SHALL CONFORM TO THE CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS CONSTRUCTION SPECIFICATIONS AS WELL AS MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES STANDARDS.



TYPICAL PAVEMENT SECTION
NO SCALE



CAST-IN-PLACE CONCRETE SIDEWALK
NO SCALE



BITUMINOUS CONCRETE CURB
CITY OF WORCESTER STANDARD
NO SCALE

DEFINITIVE PLAN

NO.	DATE	REVISIONS	BY
10	2/22/2023	PERMITTING/CITY COMMENT	CMA
9	11/1/2023	PERMITTING/CITY COMMENT	CMA
8	4/22/2023	LAYOUT REVISIONS	CMA
7	6/7/2023	LAYOUT REVISIONS	CMA
6	5/4/2023	LAYOUT REVISIONS	CMA
		REVISIONS	BY



HANNIGAN ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS

8 HANNIGAN STREET
WORCESTER, MASSACHUSETTS 01452
WWW.HANNIGANENGINEERING.COM

CONSTRUCTION DETAILS
IN
WORCESTER, MASSACHUSETTS

PREPARED FOR:
GOVENTURE CAPITAL GROUP, LLC
BRENDAN GOVE
10 E. WORCESTER STREET, SUITE 3A
WORCESTER, MASSACHUSETTS 01605
TEL:

CALC:	CMA/WDH	DRWN:	CMA/WDH	SCALE:	NA
CHKD:	WDH	APPD:	WDH	DATE:	NOV 12, 2021
SRV:	NA	FB:	NA	JOB NO:	2030
TAB:	(6-14) DET	SHEET	14 OF 14	PLAN NO:	C-16-9

APPLICANT:
GOVENTURE CAPITAL GROUP, LLC
10 E. WORCESTER STREET, SUITE 3A
WORCESTER, MASSACHUSETTS 01605